



PALM BEACH COUNTY ZONING APPLICATION STAFF REPORT

ZONING COMMISSION, FEBRUARY 6, 2025

A. Application Summary

I. General

Application Name: Haverhill Recovery Facility, ABN/Z-2024-00519
Control Name: 3037 N. Haverhill Rd (2017-00059)
Applicant: Haverhill ALF, LLC
Owner: Haverhill ALF, LLC
Agent: RDG Development Group - Randall Granberry
Project Manager: Jerome Small

Title: an Development Order Abandonment **Request:** to abandon a Class A Conditional Use for a Type 3 Congregate Living Facility approved by Resolution R-2018-1842 on 3.97 acres **Title:** an Official Zoning Map Amendment **Request:** to allow a rezoning from the Planned Unit Development (PUD) Zoning District to Institutional and Public Facilities (IPF) Zoning District on 3.97 acres

Application Summary: The application is for the proposed Haverhill Recovery Facility. The site was last approved by the Board of County Commissioners (BCC) on November 26, 2018 for a rezoning from Agricultural Residential to the Planned Unit Development (PUD) Zoning District with a Class A Approval for a Congregate Living Facility (CLF) with 47 beds/residents in three structures totaling approximately 26,613 square feet (sq. ft.). A CLF is a residential use. The site was not developed as a CLF and currently is built with one single family home.

The request proposes to abandon the CLF Class A Approval and rezone the site from PUD to Institutional and Public Facilities (IPF) Zoning in order to proceed with an administrative approval for a Skilled Nursing or Residential Treatment Center. This application is contingent upon a concurrent application for a future land use amendment (SCA-2024-009) from Medium Residential, 5 units per acre, (MR-5) to Institutional and Public Facilities, with an underlying 5 units per acre (INST/MR-5).

The Preliminary Site plan depicts four buildings with a total of 31,000 sq. ft. and 100 beds/residents. Building 1 consists of office and inpatient treatment. Building 2 consists of office, 50 beds, and a Gymnasium. Building 3 consists of 30 beds. Building 4 consists of 20 beds. Other site elements include a recreation area, water management tracts, landscape buffers, and 70 parking spaces. Access to the site will be from Community Drive and Haverhill Road, and an emergency access on Horseshoe Circle South.

II. Site Data

Acres: 3.97 acres
Location: Southwest corner of North Haverhill Road and Horseshoe Circle South
Parcel Control: 00-42-43-14-00-000-5030; 00-42-43-14-00-000-5190
Future Land Use: Medium Residential, 5 units per acre (MR-5)
Proposed Future Land Use: Institutional and Public Facilities with an underlying 5 units per acre (INST/5)
Zoning District: Planned Unit Development (PUD)
Proposed Zoning: Institutional and Public Facilities (IPF)
Tier: Urban/Suburban
Utility Service: Palm Beach County Utility Department (PBCWUD)
Overlay/Study: N/A
Neighborhood Plan: N/A
CCRT Area: N/A
Comm. District: 7, Commissioner Bobby Powell

III. Staff Assessment & Recommendation

ASSESSMENT: Staff has evaluated the standards listed under Article 2.B., and determined that the requests meet the standards of the ULDC subject to Conditions of Approval as indicated in Exhibit C.

STAFF RECOMMENDATION: Staff recommends approval of the request, subject to the Condition of Approval as indicated in Exhibit C.

PUBLIC COMMENT SUMMARY: At the time of publication, Staff had received two contacts from the public regarding this project in opposition to the request. From November 2024 to the publication of this report, two emails from residents who live on Horseshoe Circle S. All correspondence was incorporated into the application file and public record.

MEETING WITH HORSESHOE CIRCLE RESIDENTS: On November 13, 2024 some residents who live within the Horseshoe Circle neighborhood met with Planning and Zoning Staff on the pending applications. The residents had questions concerning access, historic approvals, access proposed onto Horseshoe Circle, traffic impact on the roads, access on Haverhill overlapping a drainage easement, historic drainage, compatibility of the use and zoning, and impact of the proposed zoning on their property.

IV. Hearing History

ZONING COMMISSION: At the December 5, 2024 ZC hearing, this item was on the Agenda for remand back to the DRO. No motion was required.

ZONING COMMISSION: *Scheduled for February 6, 2025*

BCC HEARING: *Scheduled February 27, 2025*

B. Data & Analysis

The supporting data and analysis is provided within the following Exhibits.

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Exhibit A - Future Land Use Map



Exhibit A – Zoning Map

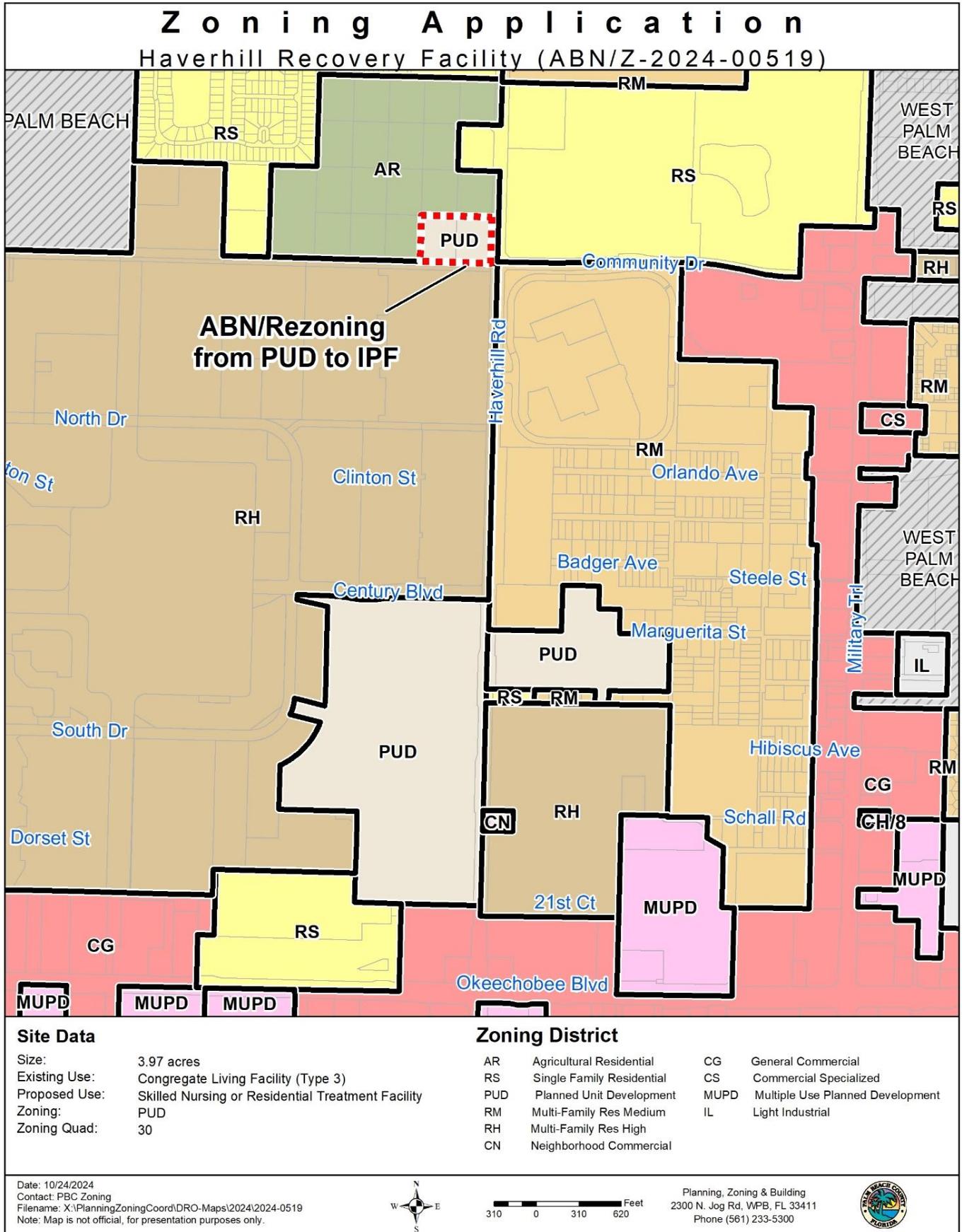


Exhibit B - Standards Analysis & Findings - Abandonment

FINDINGS:

Development Order Abandonment

Article 2.B.7.F, Standards for an abandonment are provided below with Staff Analysis. When considering an ABN application, the BCC and ZC shall consider these Standards.

a. Consistency with the Plan - *The proposed use or amendment is consistent with the Goals, Objectives and Policies of the Comprehensive Plan, including previous Land Use Amendments, densities and intensities of use.*

The request for an abandonment of the previous approval for a Congregate Living Facility is consistent with the Plan. The abandonment request is being processed concurrently with a request to modify the future land use and rezoning.

b. Consistency with the Code - *The proposed abandonment, is not in conflict with any portion of this Code, and is consistent with the stated purpose and intent of this Code. The abandonment of a DO does not create any new non-conformities.*

The current PUD zoning is required to have a Master Plan with the principal use as residential. Abandonment of the use without the rezoning would create conflict with the Code. However, the proposed abandonment is not in conflict with any portion of the Code, because it is being processed concurrently with a future land use and rezoning application. The request with the companion application requests ensure the abandonment is consistent with the stated purpose and intent of the County Unified Land Development Code (ULDC). The abandonment of the Development Order (DO) for the previously approved Type 3 Congregate Living Facility does not create any non-conformities.

c. Adequate Public Facilities - *The proposed abandonment of the DO shall not impact the approved requirements of Art. 2.F, Concurrency (Adequate Public Facility Standards). When a non-implemented DO is abandoned, all concurrency affiliated with the DO is no longer valid. For implemented DOs, concurrency for the remainder of the non-affected area shall remain. Concurrency for any new uses on the subject property shall be subject to the requirements of Art. 2.F, Concurrency (Adequate Public Facility Standards).*

The proposed abandonment of the Type 3 Congregate Living Facility use approval will not impact the requirements of Art. 2.F, Concurrency (Adequate Public Facility Standards). The Applicant has requested a new Concurrency Approval for the proposed development under the proposed IPF Zoning District.

d. Changed Conditions or Circumstances - *There are demonstrated changed site conditions or circumstances provided by the Applicant's Justification Statement that necessitate the abandonment. Abandonment of the Resolution approving the DO will not impact other DOs approved on the same site. There is no reliance by other parties for additional performances, or tasks to be implemented, that were required in the original DO.*

The Applicant states the following in their Justification Statement: *"The change of circumstances for the subject development site is the steadily rising demand for short term treatment facilities within Palm Beach County, which is not allowed in the Type III Congregate Living Facility (CLF) Conditional Use that was approved in Resolution Number R-2018-1842. The proposed abandonment is to allow the applicant to construct a short-term care facility for patients to occupy the site for a period less than 90-days."*

Exhibit B - Standards Analysis & Findings - Rezoning

FINDINGS:

Official Zoning Map Amendment (Rezoning) to a Standards District

Article 2.B.7.A.2, Standards for an Official Zoning Map Amendment (Rezoning) to a Standard District are indicated below with Staff Analysis. A request that fails to meet any of these Standards shall be deemed adverse to the public interest and shall not be approved.

a. Consistency with the Plan - *The proposed use or amendment is consistent with the purposes, goals, objectives and policies of the Plan, including standards for building and structural intensities and densities, and intensities of use.*

○ *Consistency with the Comprehensive Plan:* Should the BCC approve the amendment of the future land use, then the proposed amendment to the zoning is consistent with the Goals, Objectives and Policies of the Comprehensive Plan, including previous Land Use Amendments, densities and intensities of use.

○ *Concurrent Land Use Amendments:* The site is the subject of a concurrent Small Scale Future Land Use Amendment known as Haverhill Recovery Facility (SCA 2024-09). The request seeks to amend the land use from Medium Residential 5 units per acre (MR-5) to Institutional Public Facilities with an underlying 5 units per acre (INST/5). The Planning Commission sitting as the Local Planning Agency will hear the item November 8, 2024. Staff recommends the following conditions of approval as part of the Small Scale Future Land Use Atlas amendment:

Development of the site under the INST future land use designation is subject to the following:

1. Development of the site is limited to a Skilled Nursing Facility or Residential Treatment Center use with a maximum 31,000 square feet and comprising no more than 100 beds/residents; and
2. The development order shall require a 6-foot wall on the north and west sides of the property, excluding emergency access, which shall provide screening with an opaque gate.

○ *Planning Conditions:* The conditions associated with the companion amendment will be carried forward in the zoning resolution.

○ *Relevant Comprehensive Plan Policy:* Future Land Use Element (FLUE) Policy 2.2-f establishes consistent Zoning districts with their corresponding Future Land Use designation in Table 2.2-f.1, Non-Residential Future Land Use - Zoning Consistency. The proposed Institutional Public Facilities (IPF) Zoning District is consistent with the proposed Institutional with an underlying 5 units per acre (INST/5) Future Land Use designation.

○ *Intensity and Density:* The request for 31,000 sq. ft. equates to a FAR of approximately 0.18 (31,000 / 173,101 surveyed sq. ft. or 3.97 acres = 0.179 or 0.18 rounded up). The maximum Floor Area Ratio (FAR) of .45 is allowed for the proposed Institutional Public Facilities with an underlying 5 units per acre (INST/5) future land use designation in the Urban Suburban Tier (173,101 surveyed sq. ft. or 3.97 acres x .45 maximum FAR = 77,895 sq. ft. maximum).

The maximum number of beds permitted for a Resident Treatment Facility / Skilled Nursing use is one (1) bed per 1,000 sq. ft. of land area (note that each bed is for the use of a single resident). The request for 100 beds is less than the maximum 173 beds permitted. The subject 173,101 surveyed sq. ft. or 3.97 acres would theoretically yield a potential of 173 beds (173,101 surveyed sf / 1,000 = 173).

○ *Special Overlay District/ Neighborhood Plan/Planning Study Area:* The site is not located within any neighborhood plans, overlays or plan study areas as identified in the Comprehensive Plan.

○ *Compatibility:* County Direction #4 establishes that "Land Use Compatibility" is one of the eighteen directions that are the basis for the Goals, Objectives and Policies of the Comprehensive Plan. The directive reads as follows:

"Land Use Compatibility. Ensure that the densities and intensities of land uses are not in conflict with those of surrounding areas, whether incorporated or unincorporated."

Several policies within the Plan's Future Land Use Element (FLUE) further address compatibility through the ULDC and development review process. FLUE Policy 2.2-c establishes that the ULDC is consistent with the Plan, and that consistency shall

"ensure compatibility with adjacent future land uses."

Further, FLUE Policy 4.3-i indicates (in part) that

"the Development Review process shall also consider the compatibility of the density or intensity of proposed development with adjacent future land uses."

To help further compatibility, the PSP provides a 6-foot high wall to mitigate any potential negative impacts from established residential community to the north and west. As previously mentioned, Planning Staff is proposing a condition to limit the site to cap the intensity to match the zoning application square footages and uses (Planning Condition 1) and a condition to provide a wall on the north and west sides of the property (Planning Condition 2) to further the compatibility of the site with the existing adjacent uses. The Planning Division has reviewed the proposed development application and determined it is compatible with adjacent and surrounding land uses as conditioned.

b. Consistency with the Code - *The proposed amendment is not in conflict with any portion of this Code, and is consistent with the stated purpose and intent of this Code.*

The zoning request will be consistent with the ULDC only if the concurrent Future Land Use Atlas (FLUA) Amendment (SCA-2024-009) is approved. The FLUA Amendment proposes to change the future land use designation from Medium Residential, 5 units per acre (MR-5), to Institutional and Public Facilities with an underlying 5 units per acre (INST/5).

○ **Property Development Regulations (PDR):** The proposed rezoning complies with the minimum lot dimensions and frontage as indicated in Table 3.D.1.A, Property Development Regulations. The parcel has frontage Haverhill Road with the access (ingress and egress) from the extension of Community Drive. An emergency access (ingress and egress) only is proposed from Horseshoe Circle S.

○ **Use specific criteria Skilled Nursing or Residential Treatment Facility:** The application requests an abandonment of a Class A approval for a CLF and an Official Zoning Map Amendment to rezone to the IPF Zoning District. The rezoning would be consistent with the proposed future land use change to the INST future land use designation. The proposed Skilled Nursing or Residential Treatment Facility use under the IPF Zoning is an administrative approval and has been reviewed concurrently with this request. If the BCC approves the rezoning, then the use may be finalized for review by the Development Review Officer (DRO). The previously approved CLF is a residential use. The following provides the Use requirements for the proposed Skilled Nursing or Residential Treatment Facility which is a non-residential institutional use.

- **Approval:** The proposed use is a non-residential use in the Institutional, Public, and Civic Use Matrix in ULDC Article 4. This use is allowed in the proposed IPF zoning district with an administrative DRO approval. If the rezoning is not approved, the proposed use would not be allowed as a principal use. A Skilled Nursing or Residential Treatment Facility is only allowed in PUD zoning a commercial or civic Pod and the site would need to provide 60% of the land area as a residential Pod.
- **Licensing:** The proposed use is required to be licensed by the State of Florida
- **Typical Uses:** Addiction receiving facility, detoxification treatment facility, residential treatment facility and includes inpatient treatment, nursing home, convalescent facility or hospice larger than a single family dwelling.
- **Lot Size:** The use is required to have the minimum of 10,000 sq. ft. or the minimum of the zoning district whichever is greater. The lot is 3.98 acres. The minimum lot size for IPF is one acre, and thus the lot meets the minimum for the use.
- **Frontage:** A minimum of 100 feet of frontage or the minimum requirement of the zoning district. The lot has 335.72 feet of frontage on Haverhill Road which meets the 100 foot requirement for the use and the IPF zoning district.
- **Access:** If located in a residential FLU designation, access shall be provided from a Collector or Arterial Street. The site will access from the extension of Community Drive which will be built to non-planned collector standards, and the site is proposed to have a non-residential FLU designation.
- **Maximum number of beds:** The use allows one bed for each 1,000 sq. ft. of lot area. The Applicant is proposing 100 residents/beds which falls in the maximum allowable for the lot size (maximum 173 residents/beds for the 3.98 acre site).

○ *Uses allowed in the IPF Zoning District:* As part of the FLUA amendment, Conditions of Approval are proposed by Planning Staff to limit the use to a Skilled Nursing or Residential Treatment Facility. Below are uses that are allowable within this zoning district should the condition not be incorporated or modified:

- Residential: Congregate Living Facility (Class A)
- Commercial: Vocational Institution (Permitted)
- Recreational: Arena or Stadium (Class A), Campground (DRO), Indoor Entertainment (DRO), Golf Course (Class B), Neighborhood Park (Permitted), Passive Park (Permitted), Public Park (DRO), Zoo (Class B),
- Institutional: Animal Shelter (Class A), Institutional Non-profit (Class A), Institutional Membership (Class A), Cemetery (Class A), College or University (Class A), Limited Daycare (DRO), General Daycare (Class A), Funeral Home (Class A), Government Services (DRO), Homeless Resource Center (Class A), Hospital (Class A), Place of Worship (DRO), Jail (Class A), School (Class A), Skilled Nursing or Residential Treatment (DRO)
- Industrial: Multi-media production (Class A)
- Agriculture: Bonefide Ag, Ag Research and Development (Class B), Agriculture Storage (Permitted), Community Vegetable Garden (Permitted), Equestrian Arena (DRO), Farmers Market (DRO), Produce Stand (DRO), Commercial Stable (DRO)
- Utility: Electric Distribution Substation (DRO), Power Plant Electric (Class A), Minot Utility (DRO), Renewable Energy Solar (DRO), Renewable Energy Wind (Class A), Solid Waste Transfer (Class A), Water and Wastewater Treatment Plant (Class A)

○ *Architectural Review:* The site is subject to the Architectural guidelines pursuant to Article 5.C, Design Standards. The Applicant has requested that the building elevations be reviewed at time of building permit.

○ *Parking:* As Per Table 6.B.1.B, Minimum Parking and Loading requirements, Skilled Nursing or Residential Treatment Facility are required to provide 1 space per 3 beds; plus 1 space per 250 sq. ft. of office space. The PSP indicates 100 beds and 2,448 sf of office space, thus requiring a total of 45 parking spaces, which is provided on the site plan. In addition, the Preliminary Site Plan (PSP) indicates seven drop-off spaces and one loading space. Per Table 6.E.4.A – Dimensions, requires that all sites must provide one loading space per 10,001 sf to 40,000 sf of Gross Floor Area. There is a total of 31,000 sf of Gross Floor Area, thus one loading space is required as indicated on the PSP. Zoning Staff has included Parking Condition 1 to set a cap on the maximum number of parking spaces to be no more than the minimum number of required parking spaces for the development to ensure that a subsequent administrative modification doesn't increase the parking on site to further change the characteristics of the corridor.

○ *Landscape/Buffering:* The subject property has three rights of way (R-O-W) along the north, south and east property lines. The Preliminary Site Plan (PSP) indicates the following:

- North Property Line: 20 foot R-O-W buffer with wall
- South Property Line: 15 foot R-O-W buffer
- East Property Line: 20 foot R-O-W buffer
- West Property Line: 20 foot Type 2 Incompatibility buffer with wall

The PSP indicates the Planning Staff Condition 2 requiring a six foot wall along the north and west property lines. Zoning Staff have included two conditions of approval to ensure that the buffers depicted on the PSP are adopted by resolution. Landscape Condition 1 establishes a minimum 20 foot right of way buffer on the north property line and 6 foot concrete panel wall. Landscape Condition 2 requires that the western property line buffer be a minimum 20 foot wide with concrete panel wall as depicted on the PSP.

○ *Signs:* A Master Sign Plan was included as part of the review, and the details have been included on the Preliminary Regulating Plan. One Ground Mounted Freestanding Sign is proposed at the southwest corner of the entrance off of Haverhill Road/Community Drive extension. The sign is proposed to be 8 feet in height and 120 sq. ft. The sign is indicated in the Preliminary Regulating Plan and complies with the requirement of the code. The Master Sign Plan includes no Building Mounted signage. Zoning Staff has included Sign Conditions 1 and 2 to ensure that a subsequent administrative modification doesn't increase the signage on site to further change the characteristics of the corridor.

● *Lighting:* Non-residential uses have different allowances for lighting. The maximum and minimum illumination for residential is 3.0 to 0.3 where nonresidential uses may have maximum and minimum illumination of 12.0 to 1.0. In addition, residential lighting is restricted to heights of 20 feet, where institutional uses are allowed to have lighting that is 30 feet or equal to the height of the building up to 40 feet in height. If the BCC approves the FLUA Amendment, the impacts on lighting with the residential neighborhoods are increased. Proposed lighting is not depicted on the PSP and is addressed at Building Permit. Zoning Staff has included Lighting Condition 1 to restrict the heights of the poles to that which is allowed for residential, to restrict foot candles at the property line, and to limit the maximum and minimum illuminations.

o *Conditional Overlay Zone (COZ)*: Article 3.B.3 indicates that the purpose of a COZ is to modify or restrict the use and site development regulations authorized in the underlying Standard Zoning District to prevent, minimize, or mitigate adverse impacts upon the surrounding land uses. The ULDC states that conditions shall be included if the applicable regulations are inadequate to protect the surrounding land uses. In application of the COZ, the BCC shall find that the proposed Rezoning is appropriate only if the applicable regulations are modified. As required under Article 3.B.3.C the BCC shall find one or more of the following reasons for the COZ district:

1. Potential impact to surrounding land uses requires mitigation;
2. Compatibility will be furthered between the requested zoning district and adjacent zones if uses and PDRs are modified; and/or
3. Intensity limits reflect available capacity of public facilities

Engineering, Planning and Zoning are recommending a COZ as part of the rezoning request as described below.

- Engineering is proposing Conditions of Approval requiring the following:
 - to configure the property into a legal lot of record,
 - to record a public drainage easement that allows for the continued conveyance of storm water runoff from Horseshoe Circle to the public drainage canal to the south of the site and
 - record an easement over the south 30 feet along the entire south property line that will allow the general public to construct and utilize the proposed roadway for ingress and egress, Right of Way dedication, realignment of the west approach of the intersection of Community Dr and Haverhill Rd.,
 - restriction of issuance of building permits relating to the intensity proposed and the capacity of the public facilities, i.e. traffic and roadway. These will be corresponding to reasons number 1 and 3 under Article 3.B.3.C and listed above for a COZ District
- Planning is proposing Conditions of Approval that would limit the use, square footage and requirement of a wall within the Landscape buffers along the north and west property lines. These will be corresponding to reasons number 1 and 2 under Article 3.B.3.C and listed above for a COZ District
- Zoning is proposing Conditions of Approval regarding setbacks, maximum building heights, and restrictions on parking, lighting and signage in order to address potential impacts of institutional uses and compatibility of potential uses allowed in this zoning district with the adjacent zoning districts.

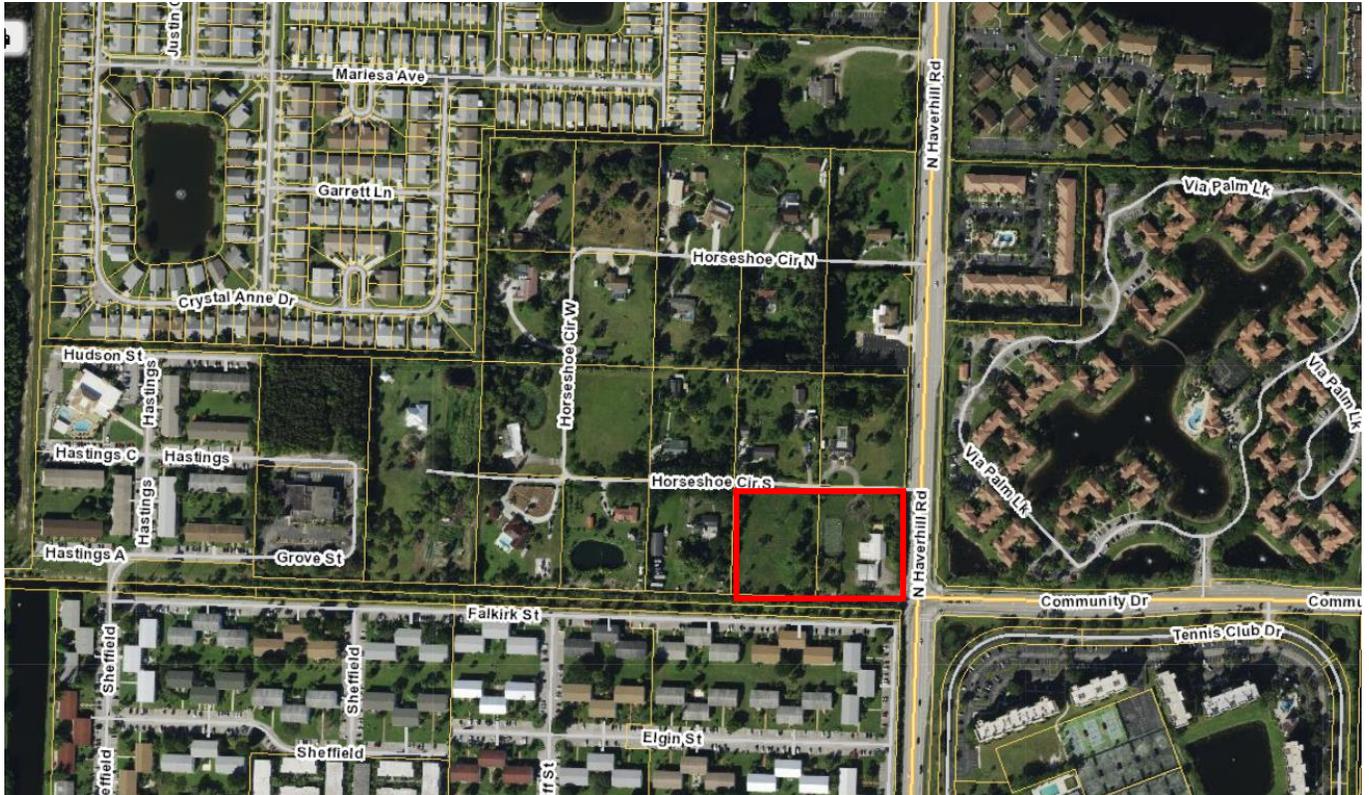
c. Compatibility with Surrounding Uses - *The proposed amendment is compatible, and generally consistent with existing uses and surrounding zoning districts, and is the appropriate zoning district for the parcel of land. In making this finding, the BCC may apply an alternative zoning district*

The applicant has submitted a Preliminary Site Plan (PSP) dated October 9, 2024 as part of the Zoning application. Staff has analyzed the provided PSP, along with the proposed use and potential uses that may be allowed within this zoning district. In order to ensure that administrative site plan modifications do not increase the potential adverse impacts to neighboring residential uses, Zoning Staff have included conditions of approval to secure features depicted on the PSP as conditions of approval. Site Design Condition 1 will ensure that buildings and structures remain a minimum of 113 feet setback from the west property line and a minimum 58 feet from the north property line. Site Design Condition 2 will ensure that the proposed 1 story and 35 foot height is adopted as a condition.

The proposed rezoning to the IPF zoning district will be generally compatible and generally consistent with the existing and surrounding uses and Zoning district subject to the FLUA Amendment Conditions of Approval as well as the conditions of approval proposed within the COZ.

The subject site is located within an unrecorded subdivision with single family homes on 21 lots approximately 2 acres each with Agricultural Residential zoning. The subject site represents the assemblage of 2 lots. The site is located immediately north of Century Village condominiums with Multifamily Residential (High Density) Zoning. To the west are the Tennis Towers apartments with Multifamily Residential (Medium Density) Zoning and the Palm Lake Condominium.

To mitigate the compatibility issues between the surrounding residential uses and the proposed non-residential use, the PSP provides additional buffering and increased setbacks. In addition, the main parking area is located fronting Haverhill Road. As stated under Consistency with the Code, Zoning Staff has proposed conditions of approval to address potential impacts and compatibility of the uses that may be allowed in the IPF district. An air photo depicting the site with surrounding residential uses is shown below.



During the review of this application, the Applicant responded to comments raised by Zoning staff that the initially proposed building placement was too close to Horseshoe Circle South and was not reflective of the residential setback along the roadway. Staff also encouraged the Applicant to shift the buildings further away from the residential uses to the east to increase separation. The Applicant made some modifications; however, the current site plan includes an emergency access point on Horseshoe Circle South due to the current configuration of buildings on the PSP to account for fire code requirements with the latest building placement.

d. Effect on Natural Environment – *The proposed amendment will not result in significantly adverse impacts on the natural environment, including but not limited to water, air, stormwater management, wildlife, vegetation, wetlands, and the natural functioning of the environment.*

ENVIRONMENTAL RESOURCE MANAGEMENT

- *Vegetation Protection:* The application request does not impact native vegetation.
- *Wellfield Protection Zone:* This property is not located within Wellfield Protection Zone.
- *Irrigation Conservation Concerns And Surface Water:* All new installations of automatic irrigation systems shall be equipped with a water sensing device that will automatically discontinue irrigation during periods of rainfall pursuant to the Palm Beach County Mandatory Year-Round Landscape Irrigation Conservation Measures Ordinance, Ordinance No. 2022-007. Any non stormwater discharge or the maintenance or use of a connection that results in a non stormwater discharge to the stormwater system is prohibited pursuant to Palm Beach County Stormwater Pollution Prevention Ordinance No. 93-15.
- *Environmental Impacts:* There are no significant environmental issues associated with this petition beyond compliance with ULDC requirements.

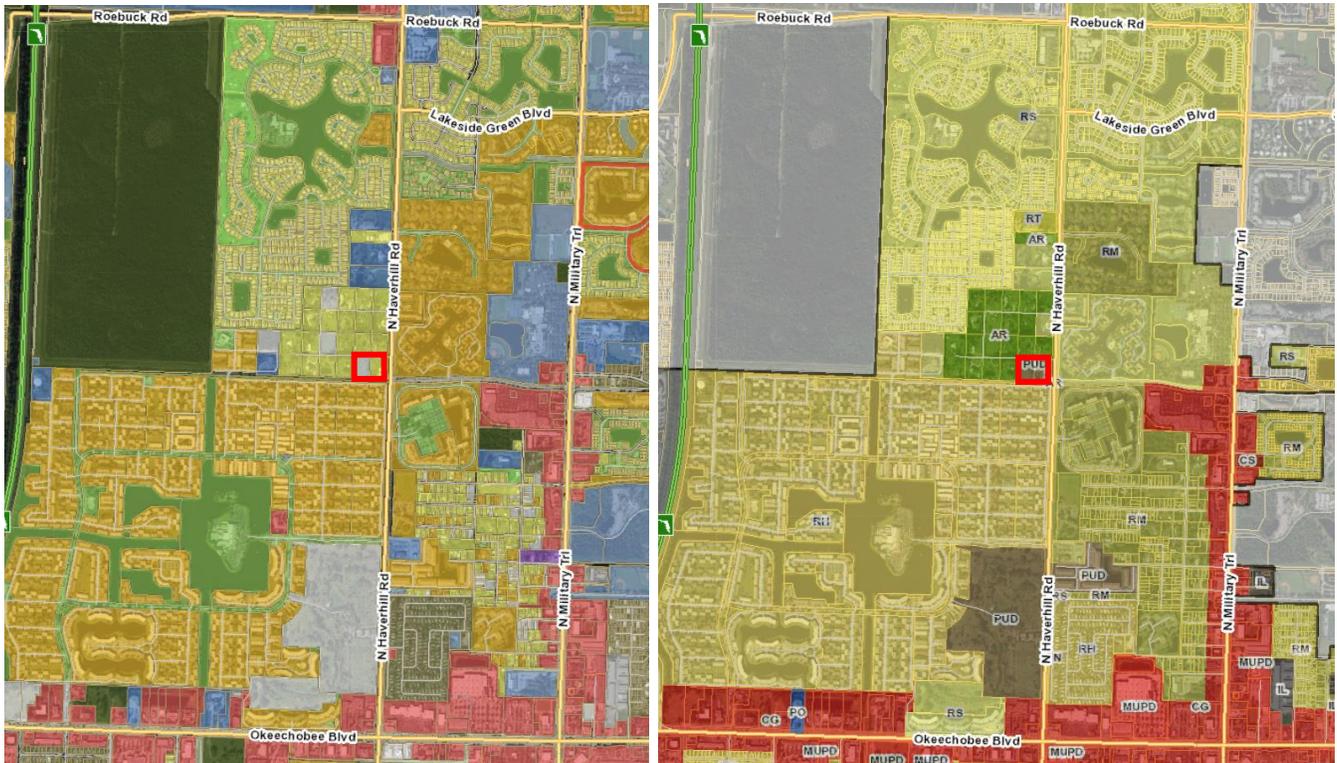
e. Development Patterns – *The proposed amendment will result in a logical, orderly, and timely development pattern.*

The development pattern for the immediate vicinity along Haverhill Road is predominately residential zoning with residential uses. The non-residential uses along the Haverhill corridor are residential and institutional uses that are allowed in residential zoning districts, such as places of worship and day care facilities. The graphic on the following page (left) depicts the subject site in red outline with existing land uses in the vicinity, depicting residential uses in yellow, brown and orange, institutional and civic uses in blue, and commercial uses in red. The closest non-residential uses with non-residential zoning districts are the commercial nodes at Haverhill and Roebuck, and Haverhill and Okeechobee, each approximately .80 miles north and south respectively.

The graphic on the below (right) depicts the subject site in red outline and shows the zoning districts with the same color pattern as the Existing Uses. This application is contingent on the FLUA amendment to Institutional and Public Facilities (INST) future land use. If the FLUA amendment is approved, then the proposed rezoning would implement the modified development pattern.

Existing Land Uses

Zoning Districts



f. Adequate Public Facilities – *The proposed amendment complies with Art. 2.F, Concurrency (Adequate Public Facility Standards).*

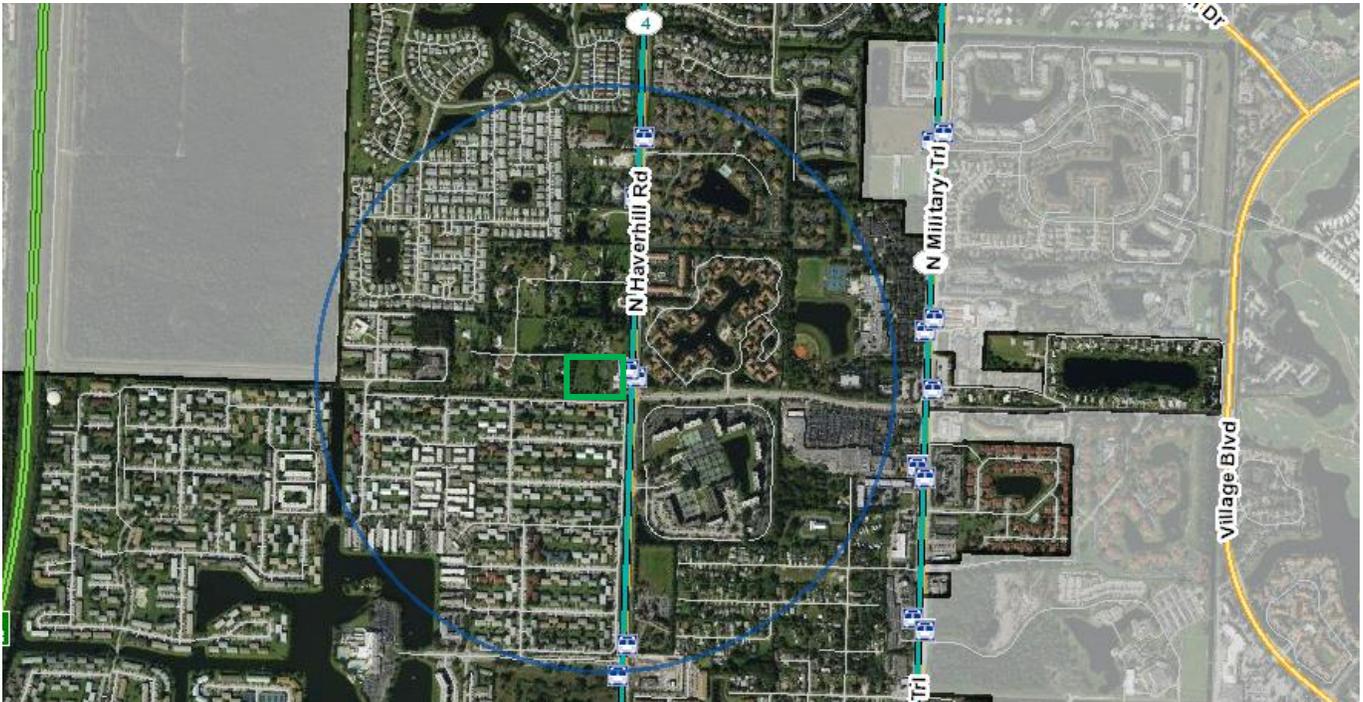
TRAFFIC DIVISION: The Department of Engineering and Public Works Traffic Division reviewed this application and traffic study with the regulations and code requirements under the authority of the Traffic Division.

The proposed Nursing Home facility is expected to generate 265 net daily trips, 12 net AM peak trips, and 11 net PM peak hour trips. The expected build out date is 2028. The expected build out date is 2028.

Analysis of the proposed project indicates that the traffic impacts will be insignificant, as defined in the Traffic Performance Standards, and therefore, no detailed traffic analysis is necessary. However, analysis of the intersection of Community Dr and Haverhill Rd was done, which showed the intersection will operate at the adopted Level of Service with the proposed facility traffic.

Access of the site will be through a new west leg of the existing signalized intersection of Community Drive and Haverhill Rd. The Property Owner shall be responsible for any and all changes necessary at the intersection related to lane and signal modifications.

MASS TRANSIT: Palm Tran review Staff have been provided the application for review and have no comments. There are approximately five bus stops within a ½ mile of the subject property, with a stop at the NE corner of the subject property. Route 4 runs north south along Haverhill Road.



LAND DEVELOPMENT DIVISION: The Department of Engineering and Public Works Land Development Division (LDD) reviewed this application for conformance with the regulations and code requirements under the authority of the LDD and have applied a condition to configure the parcel into a legal lot of record and dedicate right-of-way and access easements for the reconfiguration of the west approach to Haverhill Road from the site.

DRAINAGE DISTRICT: The subject site is located within the service boundaries of the Northern Palm Beach County Improvement District. The Applicant has indicated in their Drainage Statement that: *“The surface water management system designed for the subject parcel of land is to be designed and constructed to satisfy drainage requirements of South Florida Water Management District (SFWMD) C-51 Basin, Palm Beach County and other regulatory agencies. The system will collect on-site run-off and via area drains, catch basins and trench drains which will be routed to an ex-filtration trench and dry detention area for treatment and storage before discharging to Palm Beach County storm management system which will eventually lead to the SFWMD C-51 Drainage Basin”*

The entire statement is found in Exhibit E-5.

According to the review by Land Development review Staff, the site is within NPBCID jurisdiction and borders on LWDD to the south. However, the application is request is not proposing a drainage connection to a NPBCID canal/ditch. They are proposing other means of connection for Legal Positive Outfall (LPO). NPBCID will review the plat as it is part of their jurisdiction. Prior to issuance of any building permits, the development will have to obtain applicable approvals and permits from the SFWMD, Palm Beach County, and or LWDD dependent on where they propose compliance with LPO and drainage.

WATER AND WASTEWATER: The subject site is within the service boundaries of Palm Beach County Water Utilities (PBCWUD). PBCWUD review Staff reviewed this application and the Applicant provided their Concurrency Reservation (Exhibit E-6). Prior to issuance of a building permit, the Applicant must connect to water and wastewater service, and is subject to the permitting approval process of PBCWUD.

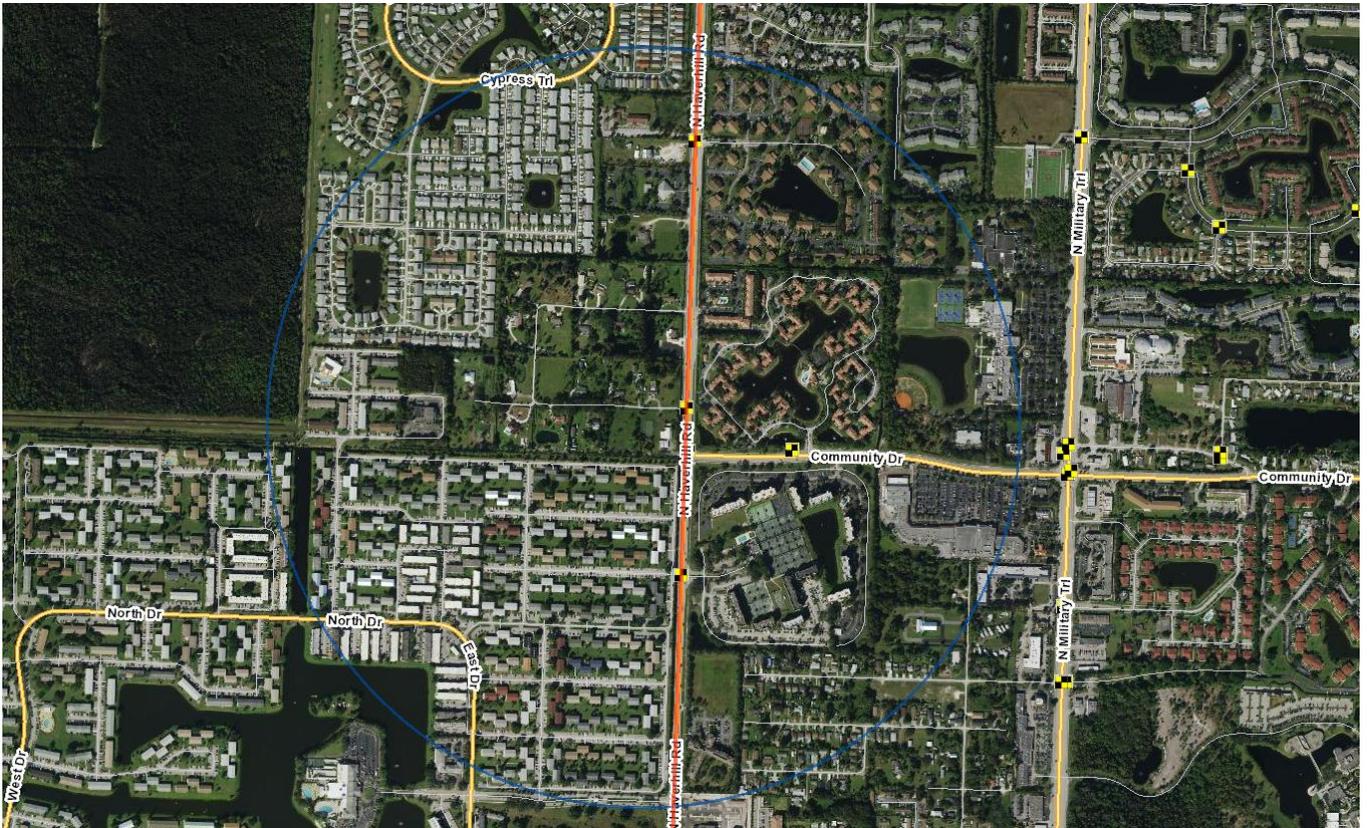
PALM BEACH COUNTY HEALTH DEPARTMENT: Health Department review Staff have no comments. The site will be required to connect to water and wastewater services.

FIRE RESCUE: Fire Department review Staff provided comments during the review of this application regarding the site plan that have been addressed by the Applicant. The subject site is located within the service boundaries of PBC Fire Rescue Station 23. No comments were provided that indicate an impact on the LOS.



PARKS AND RECREATION: The Parks and Recreation Department review staff have no comment regarding this application as this is a non-residential application, and the Parks and Recreation Department ULDC requirements do not apply.

SCHOOL IMPACTS: The PBC School District review Staff have no comments as this is a non-residential application and there is no density proposed. There are four school bus stops within a ½ mile of the subject property



g. Changed Conditions or Circumstances – *There are demonstrated changed site conditions or circumstances provided by the Applicant’s Justification Statement that necessitate the amendment.*

This application is prompted by the associated FLUA amendment to change the future land use designation on the site. The Applicant states the following in the Justification Statement: *“The change of circumstances for the subject development site is the steadily rising demand for short term treatment facilities within Palm Beach County. The proposed zoning map Amendment it is to allow the applicant to provide a short-term care facility for patients to occupy the site for a period less than 90-days, which is a slightly different circumstance than what is allowed in the current FLU MR-5, PUD zoning, and Congregate Living Facility Use.”*

Exhibit C - Conditions of Approval

Official Zoning Map Amendment with a Conditional Overlay Zone on 3.97 acres

ALL PETITIONS

1. The approved Preliminary Site Plan is dated October 9, 2024. Modifications to the Development Order inconsistent with the Conditions of Approval, or changes to the uses or site design beyond the authority of the Development Review Officer as established in the Unified Land Development Code, must be approved by the Board of County Commissioners.
(ONGOING: ZONING - Zoning)

ENGINEERING

1. Prior to the issuance of the first building permit, the Property Owner shall configure the property into a legal lot of record in accordance with provisions of Article 11 of the Unified Land Development Code.
(BLDGPMT: MONITORING - Engineering)

2. Prior to the issuance of the first building permit, the Property Owner shall record a public drainage easement that allows for the continued conveyance of stormwater runoff from Horseshoe Circle to the public drainage canal to the south of the site. (BLDGPMT: MONITORING - Engineering)

3. The Property Owner shall provide to the Palm Beach County Right of Way Section of Roadway Production Division a warranty deed for road right of way and all associated documents as required by the County Engineer for the 25 foot corner clip located 30 feet north of the southeast corner of the site.

All warranty deed(s) and associated documents, including a title policy naming Palm Beach County as an insured, shall be provided and approved prior to the issuance of the first building permit or within ninety (90) days of a request by the County Engineer, whichever shall occur first. Right of way conveyance shall be along the entire frontage and shall be free and clear of all encroachments and encumbrances. Property Owner shall provide Palm Beach County with sufficient documentation acceptable to the Right of Way Section to ensure that the property is free of all encumbrances and encroachments, including a topographic survey. The Property Owner must further warrant that the property being conveyed to Palm Beach County meets all appropriate and applicable environmental agency requirements. In the event of a determination of contamination which requires remediation or clean up on the property now owned by the Property Owner, the Property Owner agrees to hold the County harmless and shall be responsible for all costs of such clean up, including but not limited to, all applicable permit fees, engineering or other expert witness fees including attorney's fees as well as the actual cost of the clean up. Thoroughfare Plan Road right of way conveyances shall be consistent with Palm Beach County's Thoroughfare Right of Way Identification Map and shall include, where appropriate as determined by the County Engineer, additional right of way for Expanded Intersections and Corner Clips. The Property Owner shall not record these required deeds or related documents. The Property Owner shall provide to the Right of Way Section a tax pro-ration. A check, made payable to the Tax Collectors Office, shall be submitted by the Property Owner for the pro-rated taxes. After final acceptance, Palm Beach County shall record all appropriate deeds and documents. (BLDGPMT/ONGOING: MONITORING - Engineering)

4. Prior to the issuance of the first building permit, the Property Owner shall record an easement over the south 30 feet along the entire south property line that will allow the general public to construct and utilize the proposed roadway for ingress and egress. (BLDGPMT: MONITORING - Engineering)

5. No Building Permits for the site may be issued after December 31, 2027, or as amended. A time extension for this condition may be approved by the County Engineer based upon an approved Traffic Study which complies with Mandatory Traffic Performance Standards in place at the time of the request. This extension request shall be made pursuant to the requirements of Art. 2.E of the Unified Land Development Code. (DATE: MONITORING - Engineering)

6. The Property Owner shall realign the west approach (that also serves as the driveway to the proposed site) of the intersection of Community Dr and Haverhill Rd, with the existing east approach, as approved by the County Engineer. This should be shown on the final site plan.

This construction shall be concurrent with the paving and drainage improvements for the site. Any and all costs associated with the construction shall be paid by the Property Owner. These costs shall include, but are not limited to, utility relocations and acquisition of any additional required right-of-way and any modification to the other approaches to the existing intersection and all signal related modifications.

a. Permits required from Palm Beach County for this construction shall be obtained prior to the issuance of the first building permit. (BLDGPMT: MONITORING - Engineering)

b. Construction shall be completed prior to the issuance of the first Certificate of Occupancy. (BLDGPMT/CO: MONITORING - Engineering)

7. The Property Owner shall provide all easements on its property to accommodate any signal related changes for the intersection, as approved by the County Engineer, to accommodate the project entrance. These easements, in consultation with the Traffic Engineering Division Signal Design Section, shall be shown on the Final Site Plan. (DRO: MONITORING - Engineering)

8. Prior to the approval of the Final Site Plan by the Development Review Officer, the Property Owner shall: remove the "80' Non-Plan Collector Street" label from the entrance, show the permanent turnaround at the western terminus of the south driveway connection, label the removable panel where the wall crosses the drainage easement, relocate the monument sign to be outside of the utility easement, update drainage statement to reflect any modifications to the canal and whether this property is within a special flood hazard area. (DRO: ENGINEERING - Engineering)

9. The Property Owner shall provide an acceptable drainage study identifying any historical drainage from offsite parcels, including proposed grading cross sections. The project's stormwater management system shall be designed to address any historical drainage. The Property Owner shall provide drainage easements, as required, to accommodate offsite drainage.

a. Drainage study shall be provided to the Land Development Division prior to final approval of the Site Plan by the DRO. (BLDGPM: ENGINEERING - Engineering)

b. Any required drainage easements shall be dedicated in conjunction with any required lot combination or recorded prior to issuance of the first building permit, whichever shall occur first. (BLDGPM/PLAT: MONITORING - Engineering)

b. Any required drainage easements shall be dedicated in conjunction with any required lot combination or recorded prior to issuance of the first building permit, whichever shall occur first. (BLDGPM/PLAT: MONITORING - Engineering)

LANDSCAPE - PERIMETER-NORTH PROPERTY LINE

1. In addition to the Code requirements, the Right-of-Way buffer along the north property line shall be upgraded to include:

a. a minimum 20 foot wide landscape buffer; and,

b. a minimum 6 feet height concrete panel wall. (BLDGPM: ZONING - Zoning)

LANDSCAPE - PERIMETER-WEST PROPERTY LINE

2. In addition to the Code requirements, the Type 2 Incompatibility buffer along the west property line shall be upgraded to include:

a. a minimum 20 foot wide landscape buffer; and,

b. a minimum 6 feet height concrete panel wall. (BLDGPM: ZONING - Zoning)

LIGHTING

1. In addition to the requirements of Article 5.E.4.E Lighting shall be limited as follows:

a. Maximum heights of Luminaires shall be 20 feet.-

b. Maximum illumination at the north and west property lines shall be 0.

c. Maximum illumination at the south and east property lines shall be 0.3.

d. Max to Min ratio shall be limited to 10:1. (BLDG PERMIT: BLDG - Zoning)

PARKING

1. The maximum number of parking spaces shall be no more than the minimum number of required parking spaces for the development. (ONGOING: ZONING - Zoning)

PLANNING

1. Per SCA 2024-09, Condition 1: Development of the site under the INST future land use designation is limited to the following: Development of the site is limited to a Skilled Nursing Facility or Residential Treatment Center use with a maximum 31,000 square feet and comprising no more than 100 beds/residents. (ONGOING: PLANNING - Planning)

2. Per SCA 2024-09, Condition 1: Development of the site under the INST future land use designation is limited to the following: The development order shall require a 6-foot wall on the north and west sides of the property, excluding emergency access which shall provide screening with an opaque gate. (ONGOING: PLANNING - Planning)

SIGNS

1. Ground Mounted signs shall be limited as follows:

a. maximum sign height - 8 feet, measured from finished grade to highest point;

b. maximum sign face area per side - 120 square feet;

c. maximum number of signs - one (1);

d. style - monument style only; and,

e. freestanding sign only. (BLDG PERMIT: BLDG - Zoning)

2. Building Mounted signs shall be limited to Wall Signs and shall only be located on the South and East facing building facades. (BLDGPM: ZONING - Zoning)

SITE DESIGN

1. The minimum setback for all principal buildings and/or accessory structures shall be 113 feet from the west property line and 58 feet from the north property line. (DRO: ZONING – Zoning)

2. The maximum height shall be 1 story height and 35 feet. (BLDGPM: ZONING - Zoning)

COMPLIANCE

1. In Granting this Approval, the Board of County Commissioners relied upon the oral and written representations of the Property Owner/Applicant both on the record and as part of the application process. Deviations from or violation of these representations shall cause the Approval to be presented to the Board of County Commissioners for review under the Compliance Condition of this Approval. (ONGOING: MONITORING - Zoning)

2. Failure to comply with any of the Conditions of Approval for the subject property at any time may result in:

- a. The Issuance of a Stop Work Order; the Issuance of a Cease and Desist Order; the Denial or Revocation of a Building Permit; the Denial or Revocation of a Certificate of Occupancy; the Denial of any other Permit, License or Approval to any developer, owner, lessee, or user of the subject property; the Revocation of any other permit, license or approval from any developer, owner, lessee, or user of the subject property; the Revocation of any concurrency; and/or
- b. The Revocation of the Official Map Amendment, Conditional Use, Requested Use, Development Order Amendment, and/or any other zoning approval; and/or
- c. A requirement of the development to conform with the standards of the Unified Land Development Code at the time of the finding of non-compliance, or the addition or modification of conditions reasonably related to the failure to comply with existing Conditions of Approval; and/or
- d. Referral to Code Enforcement; and/or
- e. Imposition of entitlement density or intensity.

Staff may be directed by the Executive Director of PZ&B or the Code Enforcement Special Master to schedule a Status Report before the body which approved the Official Zoning Map Amendment, Conditional Use, Requested Use, Development Order Amendment, and/or other zoning approval, in accordance with the provisions of Section 2.E of the ULDC, in response to any flagrant violation and/or continued violation of any Condition of Approval. (ONGOING: MONITORING - Zoning)

DISCLOSURE

1. All applicable state or federal permits shall be obtained before commencement of the development authorized by this Development Permit.

Exhibit D - Project History

PROJECT HISTORY:

Application No.	Title & Request	Resolution	Decision	Approval Date
ZV/PDD/CA-2018-00608	Title: Type 2 Variance Request: to allow a reduction of the required Side Street Setback.	ZR-2018-00035	Adopted With Conditions	11/01/2018
ZV/PDD/CA-2018-00608	Title: an Official Zoning Map Amendment Request: to allow a rezoning from the Agricultural Residential (AR) Zoning District to the Planned Unit Development (PUD) Zoning District.	R-2018-01841	Adopted With Conditions	11/26/2018
ZV/PDD/CA-2018-00608	Title: a Class A Conditional Use Request: to allow a Type 3 Congregate Living Facility.	R-2018-01842	Adopted With Conditions	11/26/2018

Exhibit E-1 - Preliminary Site Plan



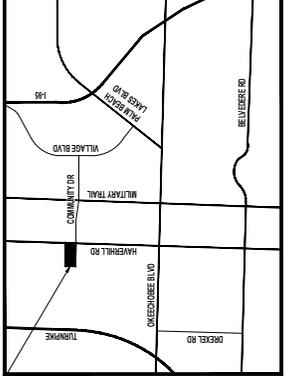
HAVERHILL RECOVERY FACILITY

3037 HAVERHILL DRIVE
WEST PALM BEACH, FLORIDA

Sheet Title: **PRELIMINARY SITE PLAN**

Revision Date: 1/06/2024
 COUNTY COMMENTS: COUNTY COMMENTS
 COUNTY COMMENTS: COUNTY COMMENTS
 COUNTY COMMENTS: COUNTY COMMENTS

Date: 1/06/2024
 Sheet Number: **PSP 1**
 Scale:



LOCATION MAP: NTS

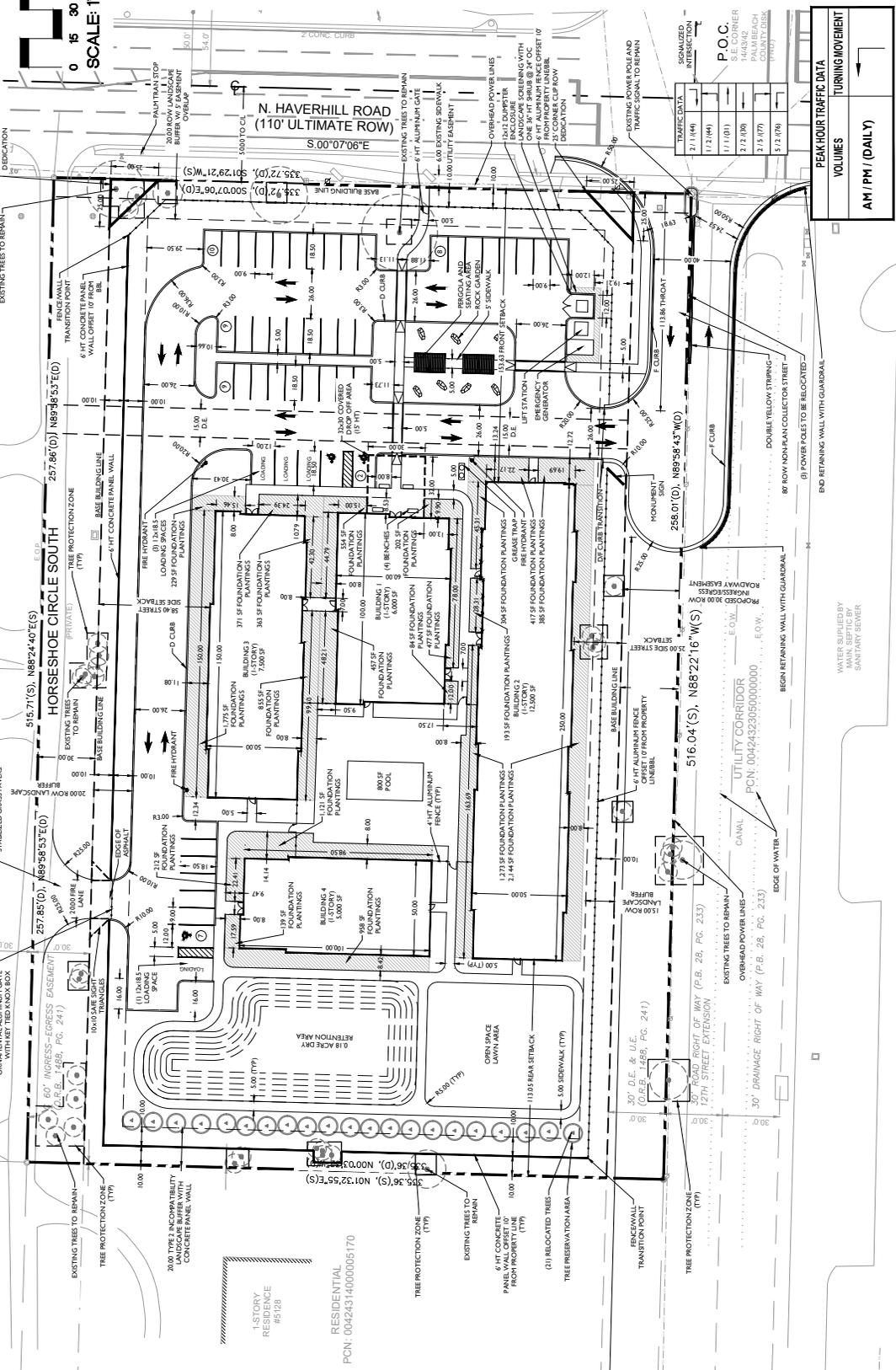
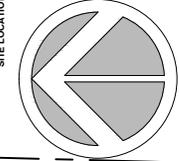
HAVERHILL RECOVERY FACILITY SITE DATA

Application Name	Haverhill Recovery Facility
Control Number	2017-0059
Application Number	RS/2017-04-00519
Site Address/Proposed Date	RS/2017-03-03
Use	Urban Suburban
Existing Uses	Congregate Living Facility (Type II CLF), Institutional, Public, and Civic Use (Residential Treatment Facility)
Proposed Uses	None
Existing FLDA Designation	URS (Medium Residential, 5 units per acre)
Existing Zoning District	URS (Medium Residential, 5 units per acre)
Existing Zoning District	URS (Medium Residential, 5 units per acre)
Proposed Zoning District	URS (Medium Residential, 5 units per acre)
Section, Township, Range	14/43/42
Property Control Number(s)	00-29-43-14-00-000-5190, 00-29-43-14-00-000-5190, 00-29-43-14-00-000-5190
Overlays	None
Total Site Area	3,972,413.31(±) sq. ft.
Total Gross Floor Area	31,000 sq. ft.

Building 1 16,000 sq. ft. Patient Treatment Area 4,373 sq. ft.	Building 2 (50 beds, symmetrical) 12,500 sq. ft. Residential Beds 9,851 sq. ft. Gymnasium 2,500 sq. ft. Office 149 sq. ft.
Building 3 (20 beds) 2,000 sq. ft. Residential Beds 1,500 sq. ft. Office 470 sq. ft.	Building 4 (20 beds) 5,000 sq. ft. Residential Beds 4,738 sq. ft. Office 262 sq. ft.

Approved Density (housing types and number of units)	47 CLF Beds (11.83 beds per acre)
Proposed Density (housing types and number of units)	100 Beds (25.18 beds per acre)
Proposed Building Height and Number of Stories (in feet)	1 story/3/3
Min. Floor Area Ratio (FAR) for INST	0.45
Proposed FAR Coverage	12.8
Total Previous Area	88,503 (51.1%)
Total Impervious Area	84,598 (48.9%)

Required Parking (Skilled Nursing or Residential Treatment Facility)	45 Spaces
Building 1	16,274 Office @ 1 space/250 sq. ft. = 23 spaces, 2 Spaces
Building 2	149 sq. ft. Office @ 1 space/250 sq. ft. = 3 spaces, 1 Space, 50 Beds @ 1 space/3 beds = 17 spaces, 17 Spaces
Building 3	470 sq. ft. Office @ 1 space/250 sq. ft. = 2 spaces, 2 Spaces
Building 4	302 sq. ft. Office @ 1 space/250 sq. ft. = 3 spaces, 10 Spaces, 20 Beds @ 1 space/3 beds = 2 spaces, 1 Spaces
Proposed Parking	45 Spaces
Required Accessible Parking	2 Accessible Spaces
Proposed Accessible Parking	3 Accessible Spaces
Required Loading Spaces - One per building	(1) 12x28 5>Loading Spaces
Proposed Loading Space	(5) 12x28 5>Loading Spaces
Traffic Analysis Zone (TAZ)	174



AM / PM / (DAILY)

PEAK HOUR TRAFFIC DATA

Direction	AM / PM	Daily
Northbound	21 (14%)	172 (44)
Southbound	17 (10%)	172 (44)
Eastbound	27 (16%)	215 (57)
Westbound	5 (2.7%)	51 (13%)

VOLUMES

TURNING MOVEMENT

PROPERTY DEVELOPMENT REGULATIONS

Zoning District or Pod	Size	Lot Dimensions			Front-to-Line/Setbacks			Height/Stories		FAR
		Min. Frontage/Depth	Min. Lot Width	Max. Building Coverage	Front/Built-to-Line (east)	Min. Side Street (south)	Max. Rear Street (west)	Min. Max. Stories	Max. Height	
Required IPF	1 ac	100'	200'	25%	50'	25'	20'	1 Story	35'	0.45
Proposed IPF	3.97 ac	355.72'	515.71'	18%	153.63'	25'	113.05'	1 Story	35'	0.18

Concurrence Reservation

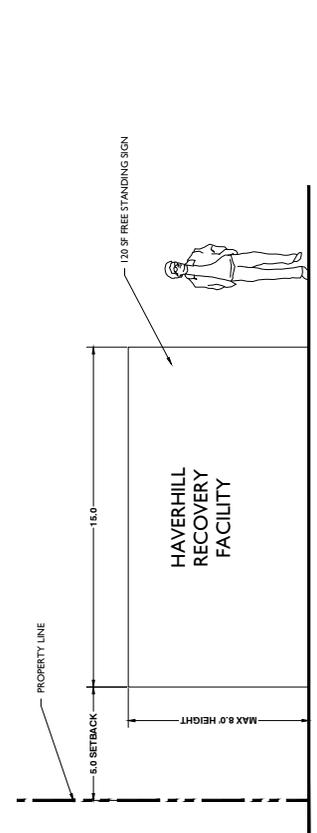
Skilled Nursing or Residential Treatment Facility: 100 Beds

ZONING STAMP

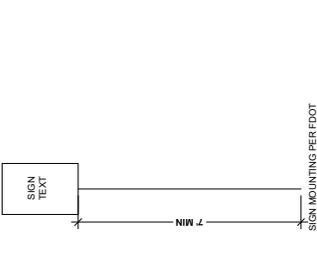
AMENDMENT STAMP

RESIDENTIAL NORWICH CONDOMINIUMS ASSOCIATION NO PCN

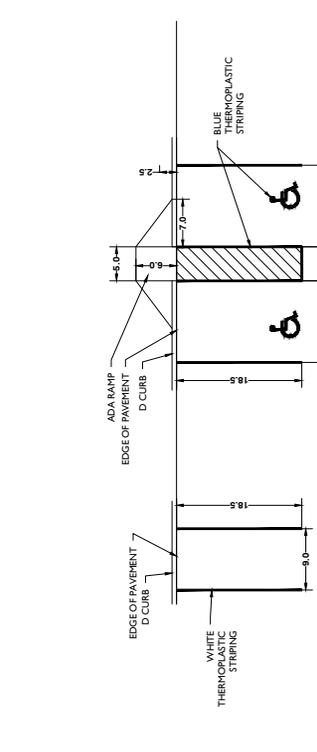
Exhibit E-2 - Preliminary Regulating Plan



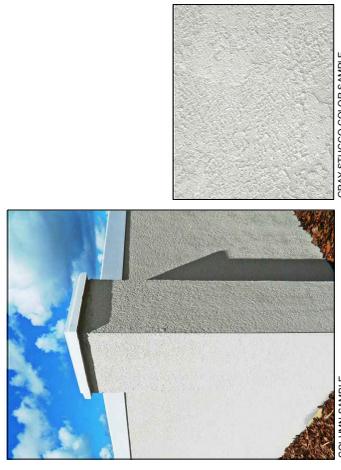
MONUMENT SIGN
 SCALE: 1" = 3'



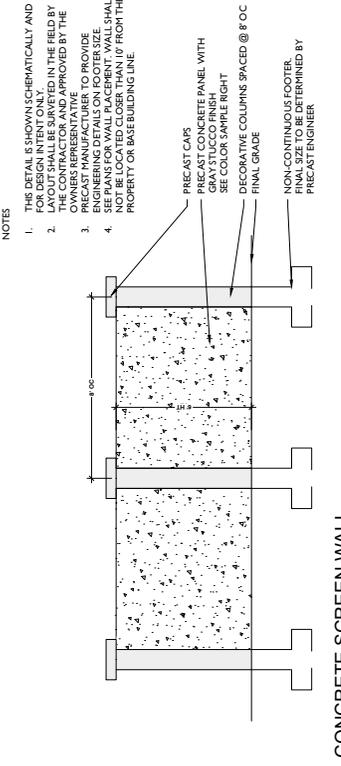
REGULATORY SIGN
 SCALE: NTS



PARKING SPACE
 SCALE: 1" = 10'



COLUMN SAMPLE
 GRAY STUCCO COLOR SAMPLE



CONCRETE SCREEN WALL
 SCALE: 1" = 3'

NOTES

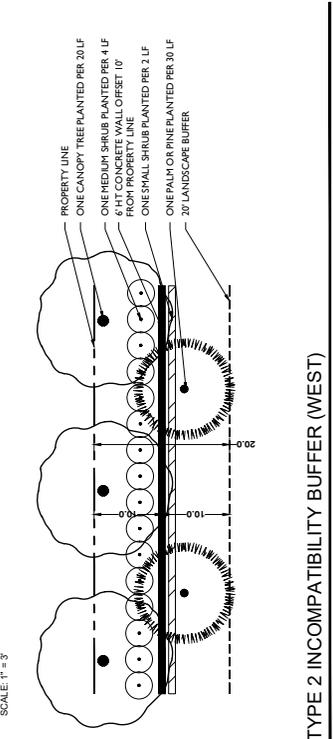
- THIS DETAIL IS SHOWN SCHEMATICALLY AND FOR DESIGN INTENT ONLY. LAYOUT SHALL BE SURVEYED IN THE FIELD BY THE OWNER'S REPRESENTATIVE.
- PRECAST MANUFACTURER TO PROVIDE REINFORCEMENT FOR ALL PRECAST WALL. SEE PLANS FOR WALL ALTERNATE WALL. SHALL NOT BE LOCATED CLOSER THAN 10' FROM THE PROPERTY OR BASE BUILDING LINE.
- PRECAST CONCRETE PANEL WITH GRAY STUCCO FINISH. SEE COLOR SAMPLE RIGHT.
- DECORATIVE COLUMNS SPACED @ 8' OC.
- NON-CORNER USE POSTER. FINAL SIZE TO BE DETERMINED BY PRECAST ENGINEER.

- GENERATOR STANDARDS FOR SKILLED NURSING OR RESIDENTIAL TREATMENT FACILITIES**
- MAXIMUM SOUND SHALL NOT EXCEED 75dB
 - GENERATORS SHALL BE SCREENED FROM VIEW WHEN ADJACENT TO OR VISIBLE FROM A PUBLIC ROW.
 - MAINTENANCE CYCLE: GENERATORS MAY BE OPERATED FOR EXERCISING PURPOSES ONE TIME PER WEEK, EXCLUDING SUNDAYS, FOR A PERIOD NOT EXCEEDING 30 MINUTES BETWEEN THE HOURS OF 10:00AM TO 5:00PM.
 - GENERATOR SHALL PROVIDE ALTERNATE POWER SOURCE FOR AND HAVE A MINIMUM OPERATING CAPACITY FOR THE FOLLOWING:
 - ESSENTIAL ELECTRICAL SYSTEMS, INCLUDING BUT NOT LIMITED TO EXIT LIGHTING, EMERGENCY LIGHTING, ELEVATORS, FIRE ALARM SYSTEMS, BATHROOM EXHAUST FANS, AND BATHROOM HOT WATER HEATERS.
 - GENERAL LIGHTING FOR A MINIMUM OF 30% OF THE BUILDING'S GROSS FLOOR AREA INCLUDING BUT NOT LIMITED TO, MAIN MEETING OR GATHERING AREA, HALLWAYS, AND BATHROOMS.
 - AIR CONDITIONING FOR 30% OF THE BUILDING'S GROSS FLOOR AREA INCLUDING THE LARGEST MEETING OR GATHERING ROOM.
 - SUFFICIENT FUEL STORAGE FOR OPERATE THE GENERATOR FOR A MINIMUM OF 72 HOURS AT THE FULL LOAD CAPACITY.

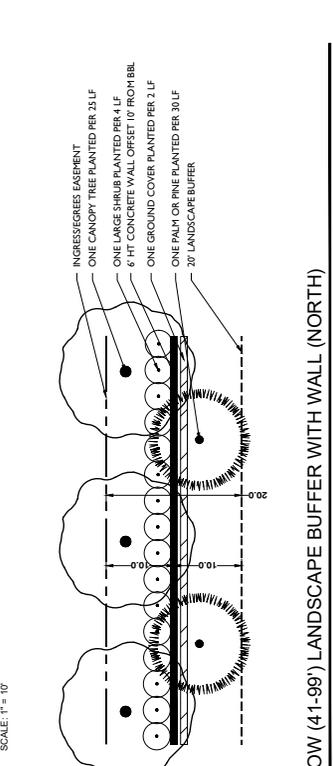
GENERATOR STANDARDS

AMENDMENT STAMP

ZONING STAMP



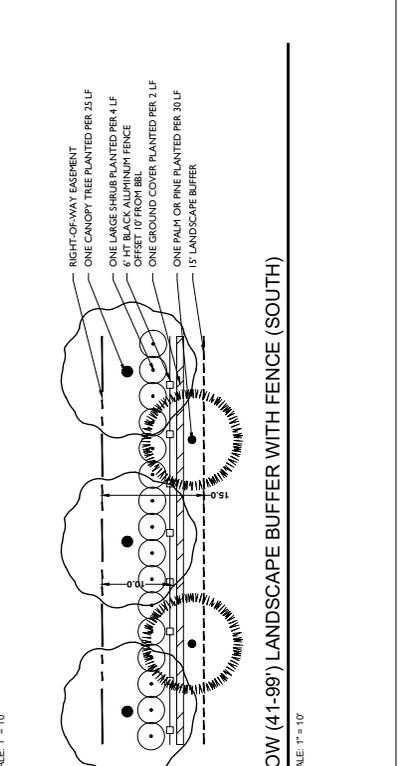
TYPE 2 INCOMPATIBILITY BUFFER (WEST)
 SCALE: 1" = 10'



ROW (41-99') LANDSCAPE BUFFER WITH WALL (NORTH)
 SCALE: 1" = 10'



ROW (41-99') LANDSCAPE BUFFER WITH FENCE (SOUTH)
 SCALE: 1" = 10'



ROW (>100') LANDSCAPE BUFFER WITH FENCE (EAST)
 SCALE: 1" = 10'

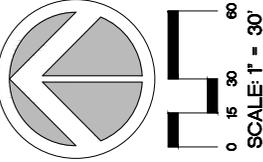


HAVERHILL RECOVERY FACILITY

3037 N HAVERHILL ROAD
WEST PALM BEACH, FLORIDA

Revision Dates
1.08/2024
COUNTY COMMENTS
COUNTY COMMENTS
COUNTY COMMENTS

PRP 2
Sheet Number
Date
10/09/2024



TREE MITIGATION SUMMARY	
ERM	REPLACEMENT TREES REQUIRED
	36 TREES
ZONING	REPLACEMENT PALMS REQUIRED
	5 PALMS
	REPLACEMENT TREES
	8 TREES
	REPLACEMENT PALMS
	8 PALMS
	CREDITS ALLOWED
	38 TREES
	TOTAL ZONING REPLACEMENT REQUIRED
	0 TREES
	(48 CREDITS - 16 REPLACEMENTS)

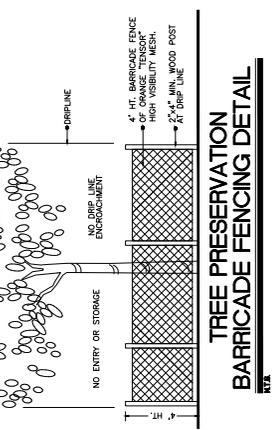
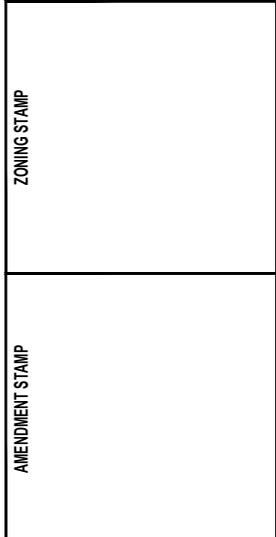
NOTE: SEE LANDSCAPE PLANS FOR REPLACEMENT LOCATIONS

TREE DISPOSITION SUMMARY	
TREES TO BE REMOVED	12
TOTAL INCHES REMOVED	177 INCHES
PALMS TO BE REMOVED	14
PALMS TO BE RELOCATED	21

NOTE: DEAD AND INVASIVE TREES NOT INCLUDED IN CALCULATIONS

TREE DISPOSITION LEGEND	
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO BE RELOCATED (SEE PLANTING PLAN FOR LOCATIONS)

HAVERHILL RECOVERY FACILITY TREE DISPOSITION TABLE						
Tree	Botanical Name	Common Name	DBH (in)	ERM Zoning	Disposition	ERM Mitigation / Zoning Replacement/Credit
1	<i>Pinus elliotii</i>	Slash Pine	18	Yes	Remain/Protect	
2	<i>Pinus elliotii</i>	Slash Pine	14	Yes	Remain/Protect	
3	<i>Pinus elliotii</i>	Slash Pine	12	Yes	Remain/Protect	
4	<i>Pinus elliotii</i>	Slash Pine	16	Yes	Remain/Protect	
5	<i>Sabal palmetto</i>	Sabal Palm		Yes	Remain/Protect	
6	<i>Sabal palmetto</i>	Sabal Palm		Yes	Remain/Protect	
7	<i>Ravenea madagascariensis</i>	Travelers Palm		Yes	Remain/Protect	
8	<i>Sabal palmetto</i>	Sabal Palm		Yes	Remain/Protect	
9	<i>Sabal palmetto</i>	Sabal Palm		Yes	Remain/Protect	
10	<i>Sabal palmetto</i>	Sabal Palm		Yes	Remain/Protect	
11	<i>Sabal palmetto</i>	Sabal Palm		Yes	Remain/Protect	
12	<i>Sabal palmetto</i>	Sabal Palm		Yes	Remain/Protect	
13	<i>Sabal palmetto</i>	Sabal Palm		Yes	Remain/Protect	
14	<i>Sabal palmetto</i>	Sabal Palm		Yes	Remain/Protect	
15	<i>Sabal palmetto</i>	Sabal Palm		Yes	Relocate	
16	<i>Sabal palmetto</i>	Sabal Palm		Yes	Relocate	
17	<i>Sabal palmetto</i>	Sabal Palm		Yes	Relocate	
18	<i>Sabal palmetto</i>	Sabal Palm		Yes	Relocate	
19	<i>Sabal palmetto</i>	Sabal Palm		Yes	Relocate	
20	<i>Sabal palmetto</i>	Sabal Palm		Yes	Relocate	
21	<i>Sabal palmetto</i>	Sabal Palm		Yes	Relocate	
22	<i>Pinus elliotii</i>	Slash Pine	16	Yes	Remove	5 Trees
23	<i>Pinus elliotii</i>	Slash Pine	16	Yes	Remove	5 Trees
24	<i>Pinus elliotii</i>	Slash Pine	16	Yes	Remove	5 Trees
25	<i>Sabal palmetto</i>	Sabal Palm		Yes	Relocate	
26	<i>Quercus virginiana</i>	Live Oak	13	Yes	Remain/Protect	
27	<i>Quercus virginiana</i>	Live Oak	6	Yes	Remain/Protect	
28	<i>Sabal palmetto</i>	Sabal Palm		Yes	Remain/Protect	
29	<i>Sabal palmetto</i>	Sabal Palm		Yes	Remain/Protect	
30	<i>Pinus elliotii</i>	Slash Pine	12	Yes	Remain/Protect	
31	<i>Pinus elliotii</i>	Slash Pine	8	Yes	Remain/Protect	
32	<i>Thrinax radula</i>	Florida Thatch Palm		Yes	Remove	1 Palm
33	<i>Thrinax radula</i>	Florida Thatch Palm		Yes	Remove	1 Palm
34	<i>Thrinax radula</i>	Florida Thatch Palm		Yes	Remove	1 Palm
35	<i>Thrinax radula</i>	Florida Thatch Palm		Yes	Remove	1 Palm
36	<i>Pinus elliotii</i>	Slash Pine	10	Yes	Remove	3 Trees
37	<i>Sabal palmetto</i>	Sabal Palm		Yes	Relocate	
38	<i>Pinus elliotii</i>	Slash Pine	15	Yes	Remain/Protect	
39	<i>Pinus elliotii</i>	Slash Pine	15	Yes	Remove	5 Trees
40	<i>Sabal palmetto</i>	Sabal Palm		Yes	Relocate	
41	<i>Thrinax radula</i>	Florida Thatch Palm		Yes	Remove	1 Palm
42	<i>Sabal palmetto</i>	Sabal Palm		Yes	Relocate	
43	<i>Sabal palmetto</i>	Sabal Palm		Yes	Relocate	
44	<i>Sabal palmetto</i>	Sabal Palm		Yes	Relocate	
45	<i>Sabal palmetto</i>	Sabal Palm		Yes	Relocate	
46	<i>Sabal palmetto</i>	Sabal Palm		Yes	Relocate	
47	<i>Sabal palmetto</i>	Sabal Palm		Yes	Relocate	
48	<i>Sabal palmetto</i>	Sabal Palm		Yes	Relocate	
49	<i>Pinus elliotii</i>	Slash Pine	12	Yes	Remove	4 Trees
50	<i>Pinus elliotii</i>	Slash Pine	10	Yes	Remove	3 Trees
51	<i>Sabal palmetto</i>	Sabal Palm		Yes	Relocate	
52	<i>Pinus elliotii</i>	Slash Pine	17	Yes	Remove	5 Trees
53	<i>Quercus virginiana</i>	Live Oak	24	Yes	Remain/Protect	
54	<i>Cocos nucifera</i>	Coconut Palm		Yes	Remove	1 Palm (Replacement) 1 Palm (Replacement)
55	<i>Roystonia regia</i>	Royal Palm		Yes	Remove	
56	<i>Quercus virginiana</i>	Live Oak	12	Yes	Remain/Protect	
57	<i>Sabal palmetto</i>	Sabal Palm		Yes	Remain/Protect	
58	<i>Sabal palmetto</i>	Sabal Palm		Yes	Remain/Protect	
59	<i>Sabal palmetto</i>	Sabal Palm		Yes	Remain/Protect	
60	<i>Pinus elliotii</i>	Slash Pine	16	Yes	Remain/Protect	
61	<i>Pinus elliotii</i>	Slash Pine	16	Yes	Remain/Protect	
62	<i>Sabal palmetto</i>	Sabal Palm		Yes	Remain/Protect	
63	<i>Sabal palmetto</i>	Sabal Palm		Yes	Remain/Protect	
64	<i>Sabal palmetto</i>	Sabal Palm		Yes	Relocate	
65	<i>Sabal palmetto</i>	Sabal Palm		Yes	Relocate	
66	<i>Cocos nucifera</i>	Coconut Palm		Yes	Remove	1 Palm (Replacement) 8 Trees (Replacement)
67	<i>Ficus Spp</i>	Ficus	48	Yes	Remove	
68	<i>NOT USED</i>					
69	<i>Cocos nucifera</i>	Coconut Palm		Yes	Remove	1 Palm (Replacement) 1 Palm (Replacement)
70	<i>Syagrus romanzoffiana</i>	Queen Palm		Yes	Remove	
71	<i>Syagrus romanzoffiana</i>	Queen Palm		Yes	Remove	1 Palm (Replacement) 1 Palm (Replacement)
72	<i>Adonia merrilli</i>	Christmas Palm		Yes	Remove	
73	<i>Schefflera arboricola</i>	Schefflera	4	Yes	Remove	Invasive/NA
74	<i>Ficus Spp</i>	Ficus	120	Yes	Remain/Protect	
75	<i>Carota mitis</i>	Fishal Palm		Yes	Remove	1 Palm (Replacement) 8 Trees (Credit)
76	<i>Ficus Spp</i>	Ficus	38	Yes	Remain/Protect	
77	<i>Ficus Spp</i>	Ficus	36	Yes	Remain/Protect	7 Trees (Credit)
78	<i>Schinus molle</i>	Schinus	6	Yes	Remove	Invasive/NA
79	<i>Caprianea arborescens</i>	Strawberry Tree	6	Yes	Remove	Invasive/NA
80	<i>Coccoloba urifera</i>	Shagbark	48	Yes	Remain/Protect	8 Trees (Credit)
81						
82						



ERM Mitigation determined per Table 7.E.3.C - Vegetation Credit and Replacement

Zoning Mitigation determined per Table 7.E.3.C - Vegetation Credit and Replacement

811 Know what's below. Call before you dig.

PRP 2



JESSAMINE
DESIGN GROUP
3927 OAK TERRACE DRIVE
ORLANDO, FL 32839
(407) 256-8897

HAVERRHILL RECOVERY FACILITY

3037 N HAVERRHILL ROAD
WEST PALM BEACH, FLORIDA

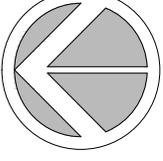
Sheet Title
**PRELIMINARY
REGULATING
PLAN**

Revision Dates

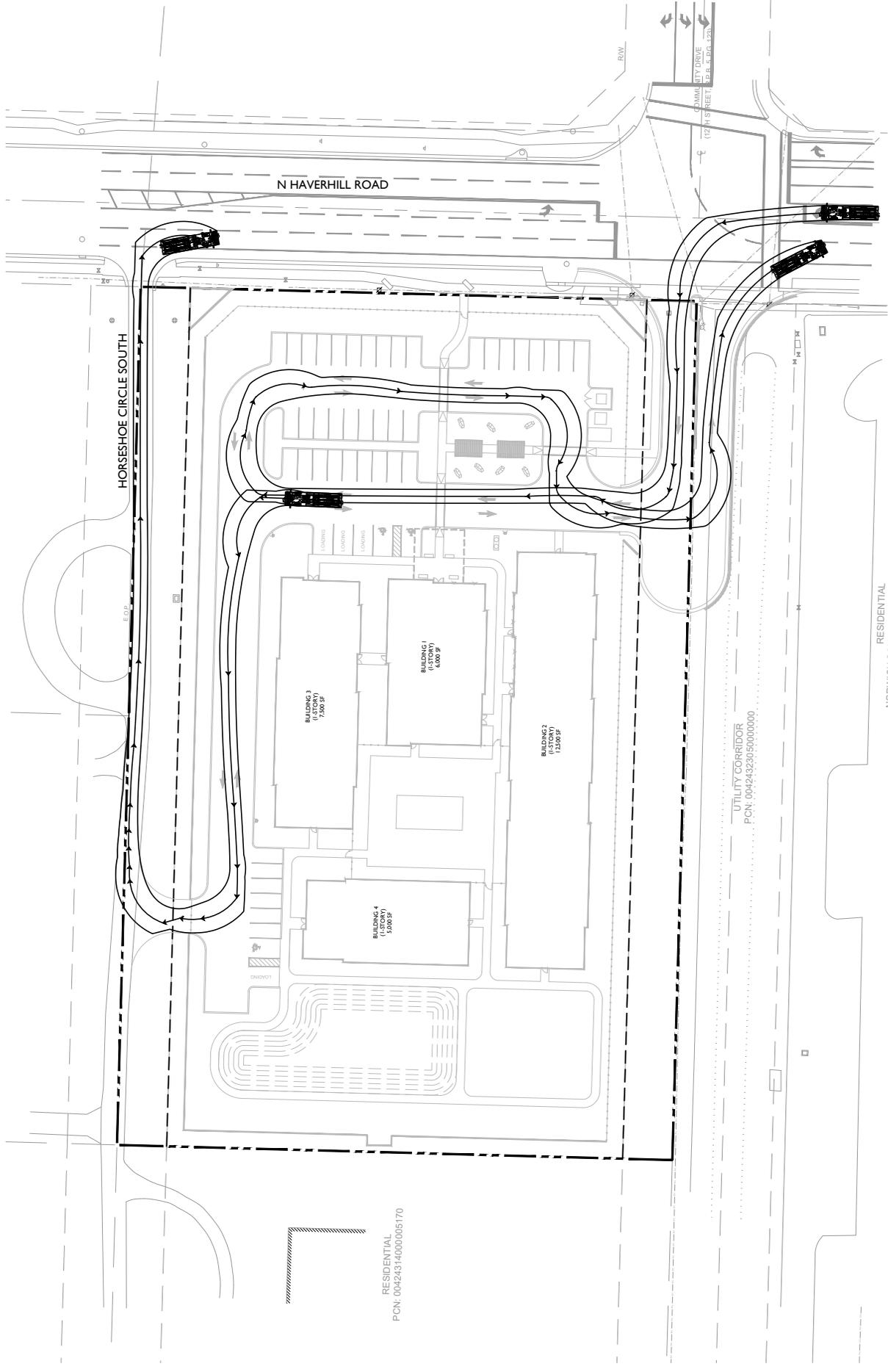
Date
10/06/2024

Sheet Number
PRP 3

Scale

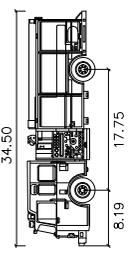


0 15 30 60
SCALE: 1" = 30'



ZONING STAMP

AMENDMENT STAMP



CITY FIRE TRUCK
feet
Width : 34.50
Track : 17.75
Lock to Lock Time : 8.20
Steering Angle : 36.7

RESIDENTIAL
PCN: 00424314000005170

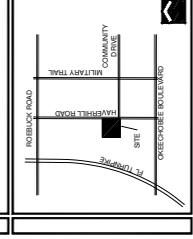
UTILITY CORRIDOR
PCN: 00424323050000000

RESIDENTIAL

Exhibit E-3 - Previously Approved Site Plan

Community Assisted Living

Location Map



Site Data

Name of Applicant: Community Assisted Living
 The Application Number: DROE-2019-00183
 The Address: 1551 N. Flagler Dr., Ste 102, West Palm Beach, FL 33401
 Proposed Zoning District: FLU-MR-5
 Property Control Number: 06-42-43-14-00-000-5190
 Existing Use: Vacant
 Proposed Use: Type III Long-Term Care Facility
 Total Gross Floor Area: 3,077 sq. ft. (730,013 s.f.)

22,445 s.f.
 1,148 s.f.
 1,009 s.f.
 1,148 s.f.
 1,009 s.f.
 1,148 s.f.
 1,009 s.f.

Community Assisted Living
 11.05 DU/AC
 17%
 max. 35'
 40%
 50%
 23,880 s.f.
 Type III CLF (F) Back
 *Community is approved for the above uses and densities shown on this plan.
 36 SPACES
 36 SPACES
 1 SPACES
 2 SPACES
 1 SPACES
 17 ac.
 10 ac.
 24 ac.
 17 ac.

Signage Data Table

LOCATION	MAX. # SIGNIFERS	TYPE	STYLE	MAX. HEIGHT	ESPALADA
PERMITTED	N/A	N/A	N/A	8'	33.4'
PROPOSED	1	VERBAL	N/A	PRESTANDING MONUMENT	8'

PUD Land Use Mix Chart

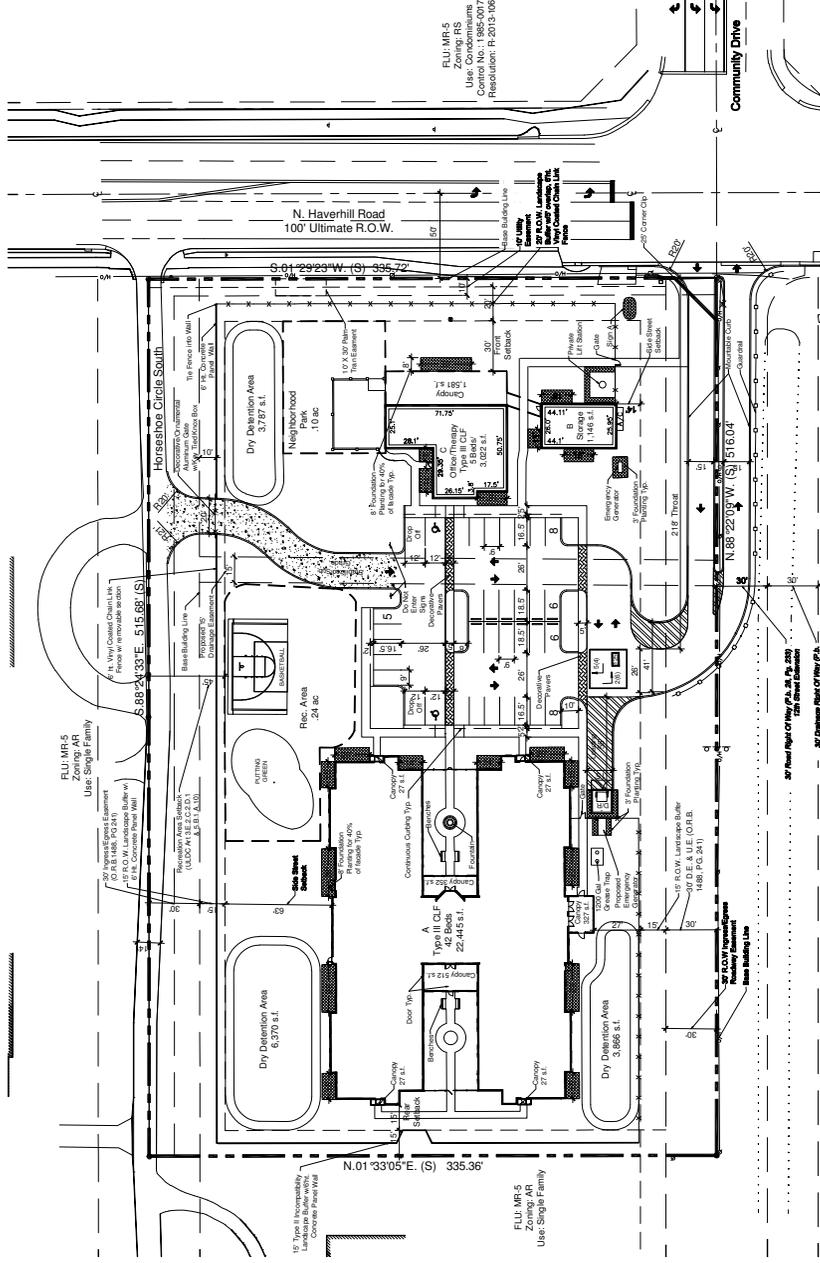
PERCENTAGE	TYPE	MINIMUM	MAXIMUM	MINIMUM	MAXIMUM
60%	Residential	17 AC	40%	17 AC	10 AC
40%	Commercial	0.75 X 100'	40%	0.75 X 100'	10 AC
91%	Proposed	29 AC	95%	29 AC	10 AC

Development Team

DEVELOPER: HAYRELL, A.S., LLC
 1422 125th AVENUE NORTH
 BOYDTON, MASSACHUSETTS 01968
 ARCHITECT: ROBERT L. MANNING, LLC
 5700 WASHINGTON ROAD
 WEST PALM BEACH, FLORIDA 33412
 CIVIL/TRAFFIC: WESSLER & ASSOCIATES
 1401 W. PALM BEACH BLVD., SUITE 100
 WEST PALM BEACH, FLORIDA 33409
 PLANNER: SCHMIDT NICHOLS
 1551 N. FLAGLER DRIVE, SUITE 102
 WEST PALM BEACH, FLORIDA 33407
 SURVEYOR: WALLACE SURVEYING, CORP.
 1000 N. PALM BEACH BLVD., SUITE 100
 WEST PALM BEACH, FLORIDA 33407
 (407) 490-0821

NOTES

- BASE INFORMATION FOR THIS PROJECT WAS OBTAINED FROM A SURVEY CONDUCTED BY WALLACE SURVEYING & MAPPING, DATED 02/26/2019.
- EXISTING UTILITIES ARE SHOWN AS NOTED ON THE SURVEY.
- DECORATIVE STREET LIGHTS WILL BE PROVIDED AT THE DEVELOPMENT ENTRANCE.
- CENTRALIZED DINING/KITCHEN FACILITY PROVIDED IN BUILDING A.
- THE REVIEW OF THE FSP IS PURSUANT TO SUPPLEMENT 25 OF THE UDCS, WHILE THE REVIEW OF THE FSP IS A CONDITIONAL USE AS REVIEWED PURSUANT TO SUPPLEMENT 25 OF THE UDCS.



PUD Tabular Data

PUD TYPE & NAME	CURRENT USE APPROVAL		NEW SUBMITTAL	
	AREA	PERCENTAGE	AREA	PERCENTAGE
Residential	30.2	N/A	N/A	N/A
Commercial	17	N/A	N/A	N/A

Development Regulations

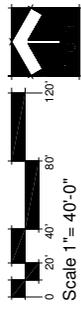
PROPERTY DEVELOPMENT REQUIREMENTS	MAXIMUM	MINIMUM	REQUIREMENTS
MINIMUM LOT AREA	17 AC	17 AC	17 AC
MINIMUM LOT WIDTH	60'	60'	60'
MINIMUM LOT DEPTH	75'	75'	75'
MINIMUM FRONT SETBACK	11.25'	40%	25'
MINIMUM SIDE SETBACK	11.25'	10%	5'
MINIMUM REAR SETBACK	11.25'	10%	5'
MINIMUM FRONT YARD OPEN SPACE	11.25'	10%	5'

Amendment Stamp

Project No.: 03000-186
 Control No.: 2017-00059
 Application #:
 DROE-2019-00183
 Resolution#(s): R-2018-0035,
 R-2018-1841, R-2018-1842
 Exhibit # : 2
 Superseded Exhibit # : N/A
 Date Approved: 12/06/2019
 Project Manager: R. Vandenburg

Zoning Stamp

UDC SECTION	REQUIRED	PROVIDED	VARIANCE REQUEST
Table 4.0.1.A	1-ft from the side street setback as measured for a PUD.	25' Side Street Setback	To allow for the 11' reduction of the required side street setback as measured for a PUD.



Scale 1" = 40'-0"

Exhibit E-4 - Disclosure

DISCLOSURE OF OWNERSHIP INTERESTS – APPLICANT

[TO BE COMPLETED AND EXECUTED ONLY WHEN THE APPLICANT IS NOT THE OWNER OF THE SUBJECT PROPERTY]

TO: PALM BEACH COUNTY PLANNING, ZONING AND BUILDING EXECUTIVE DIRECTOR, OR HIS OR HER OFFICIALLY DESIGNATED REPRESENTATIVE

STATE OF FLORIDA
COUNTY OF PALM BEACH

BEFORE ME, the undersigned authority, this day personally appeared Michael Silverman, hereinafter referred to as "Affiant," who being by me first duly sworn, under oath, deposes and states as follows:

1. Affiant is the [] individual or [x] Manager _____ [position—e.g., president, partner, trustee] of Haverhill Road Holdings, LLC [name and type of entity - e.g., ABC Corporation, XYZ Limited Partnership], (hereinafter, "Applicant"). Applicant seeks Comprehensive Plan amendment or Development Order approval for real property legally described on the attached Exhibit "A" (the "Property").
2. Affiant's address is: Michael Silverman - Haverhill Road Holdings, LLC
11 Island Ave #1506
Miami Beach, FL 33139
3. Attached hereto as Exhibit "B" is a complete listing of the names and addresses of every person or entity having a five percent or greater interest in the Applicant. Disclosure does not apply to an individual's or entity's interest in any entity registered with the Federal Securities Exchange Commission or registered pursuant to Chapter 517, Florida Statutes, whose interest is for sale to the general public.
4. Affiant acknowledges that this Affidavit is given to comply with Palm Beach County policy, and will be relied upon by Palm Beach County in its review of Applicant's application for Comprehensive Plan amendment or Development Order approval. Affiant further acknowledges that he or she is authorized to execute this Disclosure of Ownership Interests on behalf of the Applicant.
5. Affiant further acknowledges that he or she shall by affidavit amend this disclosure to reflect any changes to ownership interests in the Applicant that may occur before the date of final public hearing on the application for Comprehensive Plan amendment or Development Order approval.
6. Affiant further states that Affiant is familiar with the nature of an oath and with the penalties provided by the laws of the State of Florida for falsely swearing to statements under oath.
7. Under penalty of perjury, Affiant declares that Affiant has examined this Affidavit and to the best of Affiant's knowledge and belief it is true, correct, and complete.



Michael Silverman, Affiant
(Print Affiant Name)

NOTARY PUBLIC INFORMATION:

STATE OF FLORIDA
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me by means of physical presence or
 online notarization, this 28 day of February, 2024 by
Michael Silverman (name of person acknowledging). He/she is personally
known to me or has produced _____ (type of identification) as
identification and did/did not take an oath (circle correct response).



(Name - type, stamp or print clearly)



(Signature)

My Commission Expires on: _____



EXHIBIT "A"**PROPERTY**

PARCEL 1: 00-42-43-14-00-000-5190

LEGAL DESCRIPTION

Commencing at the Southeast corner of Section 14, Township 43, Range 42 East, Palm Beach County Florida; thence North 89 degrees 58' 43" West along the South line of said Section 14, a distance of 50.00 feet to the Point of Beginning, thence continue North 89 degrees 58' 43" West along the South line of Section 14, a distance of 258.01 feet to a point; thence North 0 degrees 05' 19" West, a distance of 355.54 feet to a point; thence North 89 degrees 58' 53" East, a distance of 257.86 feet to a point on the West right-of-way line of Haverhill Road (a county road) as not laid out and in use; thence south 0 degrees 07' 06" East along the said West right-of-way line a distance of 335.72 feet to the Point of Beginning.

PARCEL 2: 00-42-43-14-00-000-5030

LEGAL DESCRIPTION

Compromising 1.98 acres more or less in the unrecorded Plat of Haverhill Ranchettes on Horseshoe Circle, off North Haverhill Road, West Palm Beach, Florida more particularly described as:

Commencing at the Southeast corner of Section 14, Township 43 South, Range 42 East, Palm Beach County, Florida; thence N 89 degrees 58' 43" West, along the South Line of said Section 14, a distance of 308.01 feet to the Point of Beginning; thence continue North 89 degrees 58' 43" West, along the South line of said Section 14, a distance of 258.03 feet to a point; thence North 0 degrees 03' 32" West, a distance of 335.36 feet to a point; thence North 89 degrees 58' 53', a distance of 257.85 feet to a point; thence South 0 degrees 05' 19" East, a distance of 335.54 feet to the Point of Beginning.

DISCLOSURE OF OWNERSHIP INTERESTS – PROPERTY

[TO BE COMPLETED AND EXECUTED BY THE PROPERTY OWNER(S) FOR EACH APPLICATION FOR COMPREHENSIVE PLAN AMENDMENT OR DEVELOPMENT ORDER]

TO: PALM BEACH COUNTY PLANNING, ZONING AND BUILDING EXECUTIVE DIRECTOR, OR HIS OR HER OFFICIALLY DESIGNATED REPRESENTATIVE

STATE OF FLORIDA
COUNTY OF PALM BEACH

BEFORE ME, the undersigned authority, this day personally appeared Victoria Leggett, hereinafter referred to as "Affiant," who being by me first duly sworn, under oath, deposes and states as follows:

1. Affiant is the individual or Manager Haverhill ALF LLC [position - e.g., president, partner, trustee] of Haverhill ALF LLC [name and type of entity - e.g., ABC Corporation, XYZ Limited Partnership] that holds an ownership interest in real property legally described on the attached Exhibit "A" (the "Property"). The Property is the subject of an application for Comprehensive Plan amendment or Development Order approval with Palm Beach County.
2. Affiant's address is: Victoria Leggett - Haverhill ALF LLC
821 N Riverside Drive Unit 701
Pompano Beach, FL 33062
3. Attached hereto as Exhibit "B" is a complete listing of the names and addresses of every person or entity having a five percent or greater interest in the Property. Disclosure does not apply to an individual's or entity's interest in any entity registered with the Federal Securities Exchange Commission or registered pursuant to Chapter 517, Florida Statutes, whose interest is for sale to the general public.
4. Affiant acknowledges that this Affidavit is given to comply with Palm Beach County policy, and will be relied upon by Palm Beach County in its review of application for Comprehensive Plan amendment or Development Order approval affecting the Property. Affiant further acknowledges that he or she is authorized to execute this Disclosure of Ownership Interests on behalf of any and all individuals or entities holding a five percent or greater interest in the Property.
5. Affiant further acknowledges that he or she shall by affidavit amend this disclosure to reflect any changes to ownership interests in the Property that may occur before the date of final public hearing on the application for Comprehensive Plan amendment or Development Order approval.
6. Affiant further states that Affiant is familiar with the nature of an oath and with the penalties provided by the laws of the State of Florida for falsely swearing to statements under oath.

7. Under penalty of perjury, Affiant declares that Affiant has examined this Affidavit and to the best of Affiant's knowledge and belief, it is true, correct, and complete.

FURTHER AFFIANT SAYETH NAUGHT.

Victoria Leggett
Victoria Leggett, Affiant

(Print Affiant Name)

NOTARY PUBLIC INFORMATION:

STATE OF FLORIDA
COUNTY OF PALM BEACH BROWARD

Handwritten initials/signature

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 29th day of FEBRUARY, 2024 by _____ (name of person acknowledging). He/she is personally known to me or has produced FL/DL (type of identification) as identification and did/did not take an oath (circle correct response).

GEORGE R ROUNDS
(Name - type, stamp or print clearly)

George R Rounds
(Signature)

My Commission Expires on: 02/19/28

NOTARY'S SEAL OR STAMP
George Rounds
Comm.: HH 463409
Expires: Feb. 19, 2028
Notary Public - State of Florida

EXHIBIT "A"**PROPERTY**

PARCEL 1: 00-42-43-14-00-000-5190

LEGAL DESCRIPTION

Commencing at the Southeast corner of Section 14, Township 43, Range 42 East, Palm Beach County Florida; thence North 89 degrees 58' 43" West along the South line of said Section 14, a distance of 50.00 feet to the Point of Beginning, thence continue North 89 degrees 58' 43" West along the South line of Section 14, a distance of 258.01 feet to a point; thence North 0 degrees 05' 19" West, a distance of 355.54 feet to a point; thence North 89 degrees 58' 53" East, a distance of 257.86 feet to a point on the West right-of-way line of Haverhill Road (a county road) as not laid out and in use; thence south 0 degrees 07' 06" East along the said West right-of-way line a distance of 335.72 feet to the Point of Beginning.

PARCEL 2: 00-42-43-14-00-000-5030

LEGAL DESCRIPTION

Compromising 1.98 acres more or less in the unrecorded Plat of Haverhill Ranchettes on Horseshoe Circle, off North Haverhill Road, West Palm Beach, Florida more particularly described as:

Commencing at the Southeast corner of Section 14, Township 43 South, Range 42 East, Palm Beach County, Florida; thence N 89 degrees 58' 43" West, along the South Line of said Section 14, a distance of 308.01 feet to the Point of Beginning; thence continue North 89 degrees 58' 43" West, along the South line of said Section 14, a distance of 258.03 feet to a point; thence North 0 degrees 03' 32" West, a distance of 335.36 feet to a point; thence North 89 degrees 58' 53', a distance of 257.85 feet to a point; thence South 0 degrees 05' 19" East, a distance of 335.54 feet to the Point of Beginning.

Exhibit E-5 - Drainage Statement



CIVIL ENGINEERING CONSULTING, INC.

**PROPOSED ALF SITE
3037 N. HAVERHILL ROAD
PALM BEACH COUNTY, FLORIDA**

May 2024

A. SITE DESCRIPTION

The proposed site is a 2-parcel lot consisting of an existing parking lot along with 2 buildings and a tennis court in unincorporated Palm Beach County, Florida. The proposed development is located on 3.97 total acres and will consist of 4 one story buildings totaling 100 beds, clubhouse, and tennis court. The site is bordered to the east by N. Haverhill Road, and to the north by Horseshoe Circle South. Water and Sewer to be provided by Palm Beach Beach County Water Utilities Department. Water and Sewer connections will be from N. Haverhill Road. The site is located within in the C-51 drainage basin.

B. SURFACE WATER MANAGEMENT INFORMATION

The surface water management system designed for the subject parcel of land is to be designed and constructed to satisfy drainage requirements of South Florida Water Management District (SFWMD) C-51 Baasin, Palm Beach County and other regulatory agencies. The system will collect on-site run-off and via area drains, catch basins and trench drains which will be routed to an ex-filtration trench and dry detention area for treatment and storage before discharging to Palm Beach County storm management system which will eventually lead to the SFWMD C-51 Drainage Basin.

Essential elements of the improvements required for implementation of the water managementsystem for this project are as follows:

1. Storm inlets, piping, exfiltration trenches, etc. will collect and transmit storm runoff with allowable overflow discharge to the street swale and drainage.
2. The project site will be limited to a peak discharge rate utilizing allowable runoff criteria as established by Palm Beach County and SFWMD.
3. Any off-site lands that contribute runoff to the project site will be recognized during stormevent analysis as off-site discharges which must be handled by the project's water

8195 White Rock Circle, Boynton Beach, FL 33436, 561-847-0398, andre@cec-fl.com
Certificate of Authorization #33369



CIVIL ENGINEERING CONSULTING, INC.

management system. Based on data reviewed to date, there are **no** off-site lands affecting this project's drainage plan.

4. "Best management practice" and any other "state of the art" techniques which are needed will be incorporated into the development of construction plans for the project for water quality enhancement. In addition, applicable SFWMD criteria for retention/detention will be utilized for runoff storage prior to major discharges from the project site. Exfiltration trenches may be sized for retention/percolation as well for water quality enhancement. The site has sandy soils and substantial "depth to water table" which are factors well suited for percolation which should not affect the groundwater.
5. The land owner will be the entity responsible for operation and maintenance of the on-site surface water management system serving the project development.
6. Flood Protection:
 - a) Adequate protection from the 100-year storm event will be provided by establishing a minimum finished floor elevation above the estimated 100-year flood stage.
 - b) All elements in the water management plan, including, culverts and storm drainage piping systems will be sized during detail design of the facilities, using standard engineering practice for hydraulic design, based on the storm discharges for major elements of the system.
7. Site Drainage
 - Parking Lot elevations set at or above the 5 year – 1 day flood stage
 - No offsite discharge up to the 25 year – 3 day flood stage except through an approved control structure
 - Legal Positive Outfall (Legal Positive Outfall) to the N. Haverhill Road via control structure and outfall pipe
 - Building Finished Floor Elevations set at or above the 100 year – 3 day (zero discharge) flood stage
 - Water Quality Treatment volume in accordance with SFWMD and PBC criteria
 - Allowable discharge per the SFWMD criteria
 - Water quality treatment and flood attenuation within proposed underground retention system and new dry swale
 - Drainage Permits will be obtained from SFWMD and Palm Beach County prior to construction.



CIVIL ENGINEERING CONSULTING, INC.

C. WATER AND SEWER INFORMATION

Water and Sewer will be provided by Palm Beach County Water Utilities Department (PBCWUD). The water system will consist of a fire hydrants, firelines, water meters and a looped system within the property to prevent dead end water mains. All water connections will be made in the R/W of Haverhill Road and will extend down the south side of the property.

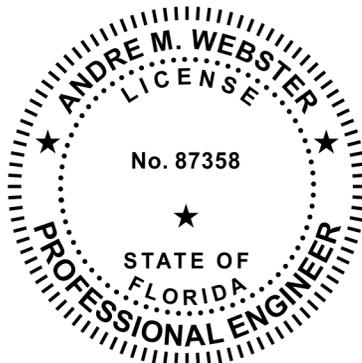
Sewer will be routed via sewer laterals on-site to a proposed lift station which will tie-into the existing force main on Haverhill Road.

Palm Beach County Land Development (PBCLD) R/W permits will be obtain at the time of construction to allow for the tie-in work to be completed in Haverhill Road Right-of-Way.

Sincerely,

Andre Webster

Andre M. Webster, P.E.
Florida License #87358



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY ANDRE M. WEBSTER, P.E. ON THE DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

Exhibit E-6 - Utility Letter



**Letter for
Concurrency Reservation**

**To: Zoning Division
PBC Planning, Zoning, & Building Department**

**From: Ebony M. Foreman, Director
Finance and Administration
PBC Water Utilities Department**

Date: June 28, 2024

Control # 00229

**Re: PZ&B Application #: ABZ/Z-2024-00519
Project Name – Haverhill Recovery Facility**

The Palm Beach County Water Utilities Department is willing and able to provide the following utility service(s) to the property identified below, and will reserve the indicated utility capacity, in Equivalent Residential Connections (ERCs), for a period not to exceed five (5) years from the date of this letter:

<u>Service Type</u>	<u>Capacity (in ERCs)</u>
Potable Water	19
Wastewater	19
Reclaimed Water	N/A

An Equivalent Residential Connection represents a system capacity equivalency unit that corresponds to the peak design demand of the 5/8 x 3/4 inch meter sub-category of customer usage. This system capacity equivalency unit is utilized to establish the system demand for various sized connections for the purpose of assessing fees and designing the capacity of capital facilities.

The above capacity is reserved for the following property:

00-42-43-14-00-000-5190, 00-42-43-14-00-000-5030

Before the five (5) year period expires, the Developer must pay all Service Initiation Fees and connect to the Department’s facilities, or for projects greater than 18.3 ERCs, enter into a Standard or Non-Standard Development Agreement to maintain this capacity reservation. This memorandum does not represent a contract for service, and the Developer remains obligated to meet all of the requirements of the Water Utilities Department prior to obtaining utility service.

Approved By: *Ebony Foreman*
Director of Finance & Administration

Date: 01-July-24

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